

***GEOTECHNICAL INVESTIGATION
CSC Entrance Drive and Parking Expansion
I-77 and US 21
Blythewood, South Carolina***

For

**SOUTH CAROLINA DEPARTMENT
OF PUBLIC SAFETY**

By

F&ME

CONSULTANTS

Geotechnical / Environmental / Materials

P.O. Box 5855

Columbia, South Carolina 29250

Tel. (803) 254-4540 • Fax. (803) 254-4542

March 14, 2002

F&ME File No.: G3770.02

F&ME CONSULTANTS

GEOTECHNICAL • ENVIRONMENTAL • MATERIALS

March 14, 2002

Mr. Russell Long
South Carolina Department of Public Safety
5410 Broad River Road
Columbia, South Carolina 29210-4026

Re: Geotechnical Investigation
Entrance Drive
CSC Campus
U.S. Highway 21 at I-77
Blythewood, South Carolina
F&ME Project No.: G3770.02

Dear Mr. Long:

Submitted herein is the report of our geotechnical investigation for the above referenced project. Included is a summary of our field investigation, our analysis of the subsurface findings, our recommendations for site preparation, and pavement sections.

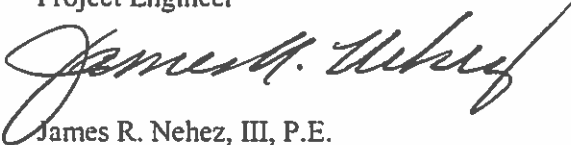
It has been a pleasure working for you on this project and we appreciate the opportunity to be of service. Please notify us if there are any questions or if we may be of further assistance with the implementation of our recommendations.

Sincerely,

F&ME CONSULTANTS



Michael S. Miller, P.E.
Project Engineer



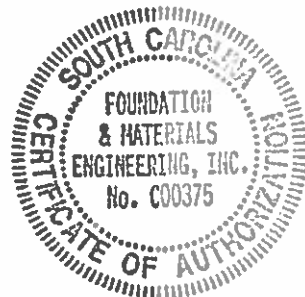
James R. Nehez, III, P.E.
Vice President

attachments

MSM/JRN/kws

COLUMBIA OFFICE
P.O. BOX 5855
Columbia, SC 29250
ph (803) 254-4540
fx (803) 254-4542

MYRTLE BEACH OFFICE
517 9th Avenue N.
Myrtle Beach, SC 29577
ph (843) 626-9253
fx (843) 448-0681



INTRODUCTION

General

A geotechnical investigation has been performed for the pavement expansion and potential entrance drive at the Proposed CSC Campus Drive located in Blythewood, South Carolina. This site is located at the existing MYND facility off U.S. Highway 21 at I-77. A Site Location Plan is provided in the Appendix as Figure 1. This investigation was authorized by Mr. Russell Long of the South Carolina Department of Public Safety. The scope of services provided for this investigation was defined in our proposal G200207, dated February 15, 2002.

Project Objectives

The primary objectives of this investigation were to gather information on subsurface conditions and develop recommendations for site preparation and develop pavement sections for potential entrance drives and parking areas. The objectives were accomplished by executing the following:

1. Advancing soil test borings to provide data on soil stratigraphy and to obtain samples for laboratory testing;
2. Performing laboratory tests to determine physical characteristics of the soils encountered; and,
3. Performing engineering analyses to develop design guidelines and recommendations.

Our scope of work did not include performing an environmental assessment. Any descriptions as to past apparent environmental assessment(s), groundwater monitoring wells, odors, or other environmental observations presented in this report are provided for the Client's information only and should not be interpreted as to represent an environmental assessment.

Project Description

It is our understanding this project will consist of potential entrance drives and parking expansion at the existing MYND facility in Blythewood, South Carolina. Although traffic volumes are not known, it has been assumed that traffic will consist primarily of passenger vehicles with occasional light truck traffic.

Subsequent sections of this report contain descriptions of the field investigation, laboratory test program, general site and subsurface conditions, and design recommendations.

FIELD INVESTIGATION

On March 6, 2002; six (6) soil test borings were advanced to a depth of five (5) feet below existing grade. The soil test borings were advanced utilizing manual hand auger techniques. Dynamic Cone Penetrometer tests were performed at one (1) foot intervals throughout the depth of the borings to determine the relative densities and consistencies of the subsurface soils. Samples of representative soils were obtained and returned to the laboratory for additional analyses. The locations of the soil test borings are provided on the Soil Test Boring Location Plan (Figure 2) in the Appendix.

All of the soil samples collected were sealed in plastic bags and transported to the laboratory for further examination and analyses. The soil samples were visually classified based upon the Unified Soil Classification System.

The borings were located in the field based upon an available site plan provided by the client. Distances were measured from existing features identified on the plan. Because of the methods used to locate the borings, the locations shown on the Soil Test Boring Location Plan should be considered approximate.

LABORATORY TESTING

Select samples were tested in the laboratory to determine applicable physical and engineering properties. The laboratory program included moisture content, grain size distribution, Atterberg limits, and California Bearing Ratio (CBR).

The Atterberg limits, grain size, and moisture content tests were used to determine the behavioral characteristics of the soils as well as to verify field classification by the Unified Soils Classification system. The standard Proctor test was utilized to determine the maximum dry density and optimum moisture content of the soils for preparation of the CBR test. The CBR test was utilized to determine the soil's support characteristics for pavement design.

The type and number of tests are provided in the following table.

Type of Test	ASTM Designation	Number of Tests
Moisture Content	D 2216	2
Grain Size	D 422	2
Atterberg Limits	D 4318	2
Standard Proctor	D 698	1
CBR	D 1883	1

Data sheets presenting the results of the laboratory soil test program are provided in the Appendix.

SITE AND SUBSURFACE CONDITIONS

Site Conditions

At the time of the field investigation, the site consisted of drives and undeveloped areas at the existing MYND facility in Blythewood, South Carolina. Existing drives which service a warehouse located in the extreme northeast corner of the property are located within the project area. The portion of the site located directly to the south of the existing warehouse is heavily wooded and contains underbrush. A large area of the site is located to the southwest of the existing warehouse. This area is bounded by a deep ditch adjacent to the property line to the north, the existing access drive for the warehouse to the east, and existing paved parking areas to the south and west. This area is bordered by trees and is essentially cleared in the interior area. An earthen mound or berm is located within this area.

F&ME's field investigation did not include determining the locations of above or below ground utilities.

Soil Stratigraphy

According to the information obtained from the soil test borings, one (1) major soil stratum was encountered during the subsurface investigation.

The stratum consisted of loose to very firm, clayey fine to medium-grained SAND (SC) and extended from below the organic layer surface to boring termination at a five (5) foot depth. Dynamic cone penetrometer testing of the subgrade soils exhibited standard penetration increments ranging from 3 blows per increment (bpi) to 18 bpi, averaging about 11 bpi.

Detailed descriptions of the soils encountered are provided on the boring logs in the Appendix. As with any geologic formation, the depth and thickness of the soil strata will vary across the site. Although we have designated strata changes at specific depths in our description of the soil stratigraphy and on the boring logs in the Appendix, transitions between soil strata are generally gradual. Therefore, the outlined subsurface profile should only be considered general on-site soil conditions and should not be utilized as an absolute indicator.

Groundwater

Groundwater was only encountered in boring number HA-5 at the time of our field investigation. Groundwater was encountered at a depth of three (3) feet below existing grade in this boring. It should be noted that groundwater will fluctuate due to climatic conditions. Following extended periods of heavy precipitation, groundwater may be encountered at relatively shallower depths.

RECOMMENDATIONS AND CONCLUSIONS

The recommendations presented in this report are based upon the general soil conditions encountered in the soil test borings, our analyses of the site and subsurface conditions, and our experience on similar projects. The recommendations do not reflect variations in subsurface conditions or the presence of undiscovered obstructions that could exist intermediate of the boring locations or in unexplored areas of the site. If subsurface conditions are discovered during construction activities that deviate from the soils encountered during the field investigation, F&ME should be contacted to evaluate the impact of the identified conditions on the structure and pavements.

Site Preparation

As soon as possible after clearing, temporary and permanent site drainage should be established as needed to promote drainage away from the parking areas and drives. Establishing good site drainage prior to construction and maintaining it thereafter can minimize the affects of shallow and/or fluctuating groundwater. Permanent site drainage should be established to prevent subgrade soils below pavements from becoming saturated and to minimize fluctuations in moisture contents. The shear strengths of soils typically decrease with increasing moisture contents and saturation. **Therefore, site drainage is a critical factor impacting construction and the long-term performance of pavements.**

Once site drainage has been established, the limits of construction and earthwork should be stripped of all surface vegetation, above and below ground obstructions, stumps, root systems, and organic surface soils.

The upper near surface soils (topsoil), organic material, and root mat should be stripped to depths as required by the on-site conditions encountered.

All utilities and subsurface obstructions should be located and their potential impact on the proposed construction assessed. If utilities are to be removed, placed, or remain within the parking and drive areas, care should be taken to ensure that all existing trenches have been properly backfilled and compacted. This will help avoid future settlement and distress of pavements.

Once all clearing activities have been completed and all required cuts have been made, the exposed subgrade soils should be scarified and compacted to a minimum of ninety-eight percent (98%) of the soil's standard Proctor (ASTM D698) maximum dry density. The exposed subgrade should also be proof-rolled with a loaded over-the-road tandem axle dump truck to identify areas of instability. Areas found to "pump" or deflect should be dried and recompactd or undercut to a competent material and backfilled.

Shallow subsurface soils at this site consist almost entirely of clayey sands. While stable in a dry condition, these soils can be expected to pump, rut, and become unstable when subjected to surface moisture. Therefore, depending on weather conditions at the time of construction, some undercutting may be required.

All structural fill and backfill placed below the roadways and extending to 5 feet outside of roadway limits should be placed in maximum eight (8.0) inch compacted lift thickness and compacted to a minimum of ninety-eight percent (98%) of the soil's standard Proctor maximum dry density. Fill and backfill in landscaped areas should be compacted to at least ninety-five percent (95%) of the soil's standard Proctor maximum dry density to guard against settlement of fill soils particularly over utility trenches.

An earthen berm was encountered in the vicinity of boring numbers HA-3, HA-4, and HA-5. Although the characterization of this berm was beyond the scope of this study, boring HA-3 was performed partially in the berm. The soils encountered were predominantly organic or unsuitable containing debris. It is suspected that these soils may have been unsuitable soils stockpiled on-site during previous construction. Therefore, it is unlikely that these soils could be used to any great extent as fill or backfill for this project.

To verify adequate compaction of the soils and to ensure proper placement and selection of fill, F&ME recommends that a representative of a geotechnical engineering firm be hired to monitor and evaluate all earthwork operations associated with structural fill placement and backfilling behind proposed retaining walls.

FLEXIBLE PAVEMENT RECOMMENDATIONS

F&ME understands that this project will consist of the construction of a possible entrance road and parking lot expansion. It is assumed that the parking area will service only passenger vehicles. However, the entrance road may be subjected to more heavily loaded vehicles.

Based upon our laboratory test data performed for soils collected at the site, a CBR value of 8.0 is indicated as a pavement soil support design parameter. Based upon the above information, the following pavement sections are recommended:

Flexible Pavement Section (Main Entrance Drives):

- A) 1.5 inches of Type I Asphalt Concrete Surface Course
- B) 1.5 inches of Type I Asphalt Concrete Binder Course
- C) 8.0 inches of Macadam Base Course ($\geq 100\%$ of Modified Proctor)
- D) Stable, Compacted Subgrade

Flexible Pavement Section (Automobile Traffic Only):

- A) 2.0 inch of Type I Asphalt Concrete Surface Course
- B) 6.0 inches of Macadam Base Course ($\geq 100\%$ of Modified Proctor)
- C) Stable, Compacted Subgrade

The above noted recommendations denote compacted thickness. It is assumed that the above recommended pavement sections will not be subjected to heavy construction traffic. If construction traffic is to use any portion of the pavement areas, provisions should be made for repairing damaged subgrade, base, and/or surfacing. Should the anticipated vehicular loading conditions change, F&ME should be given the opportunity to review our pavement recommendations and make any necessary changes or revisions.

It is noted that the recommended flexible pavement sections are referenced to the South Carolina Department of Transportation (SCDOT), Standard Specifications For Highway Construction, 2000 edition. Applicable guidelines for County acceptance of roadways are provided in the Richland County Design and Construction Standards, Section V and VI, with the county construction standards also referenced to SCDOT specifications.

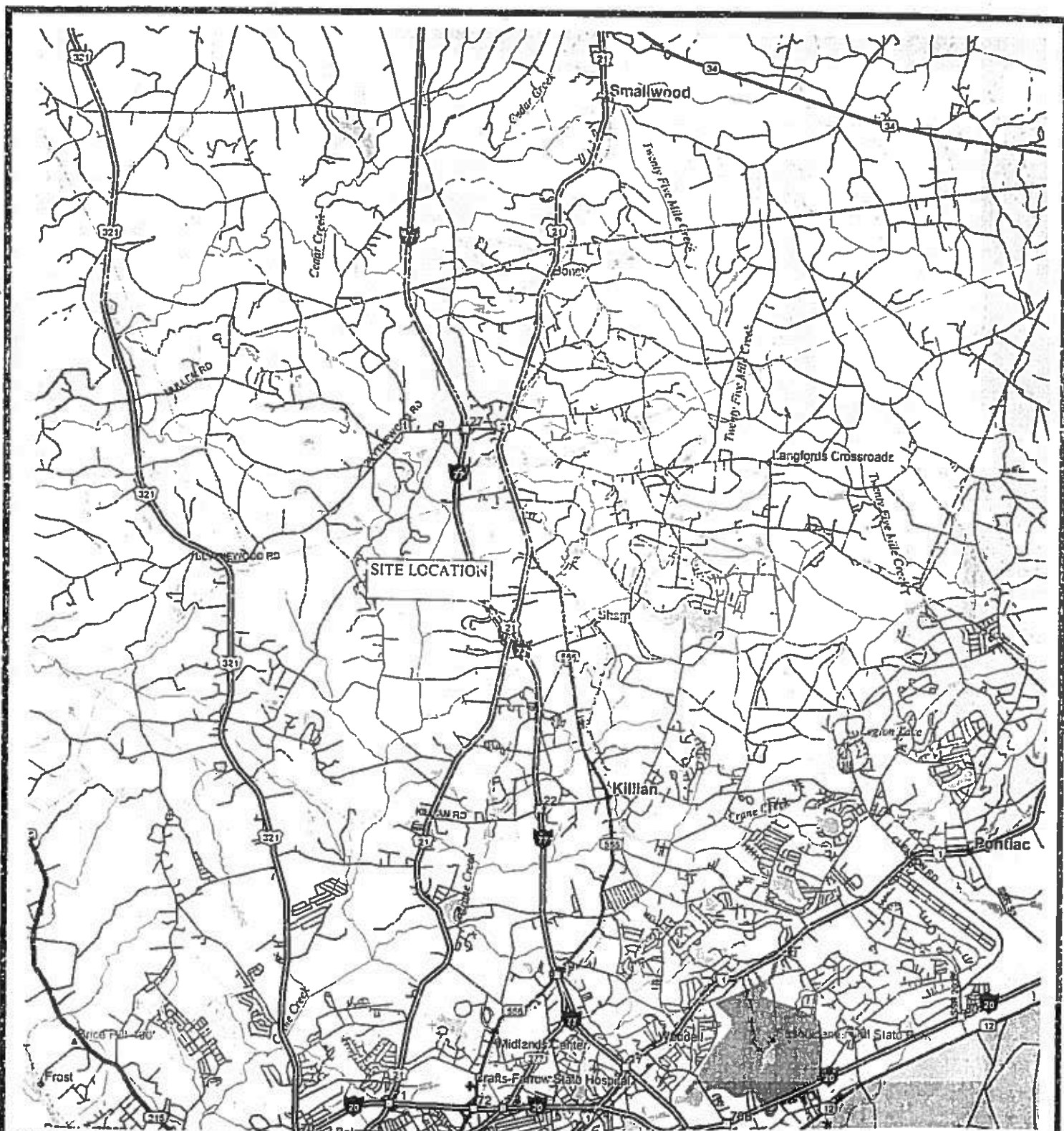
Based on our experience with similar projects, F&ME notes that underdrains and pavement sealers may be required if the areas along the roadways and drives will be irrigated. Sprinkler heads should be placed a minimum of two (2) feet behind the curb. If it is anticipated that irrigation water will overrun the top of the curb, drainage structures should be placed behind the curb or pavement sealers should be placed on the pavement. Heavy irrigation can and will cause subgrade soils and the pavement section to become saturated. With increasing moisture contents and saturation, the subgrade soils will typically loose shear strength and support capabilities and the pavement section and subgrade may begin to excessively deflect causing the roadway to experience early pavement failures.

LIMITATIONS OF REPORT

This report has been prepared in accordance with generally accepted geotechnical engineering practice for specific application to this project. The conclusions and recommendations contained herein are based upon applicable standards in this geographic area at the time this report was prepared. No other warranty, expressed or implied, is made.

The analyses and recommendations submitted herein are based, in part, upon the data obtained from the subsurface exploration. The nature and extent of variations between the borings will not become evident until construction begins. If variations appear evident, we request the opportunity to re-evaluate the recommendations in this report. In the event that any changes in nature, design, or location of the structures are planned, the recommendations contained in the report will not be considered valid unless the changes are reviewed and verified in writing.

APPENDIX



F&ME

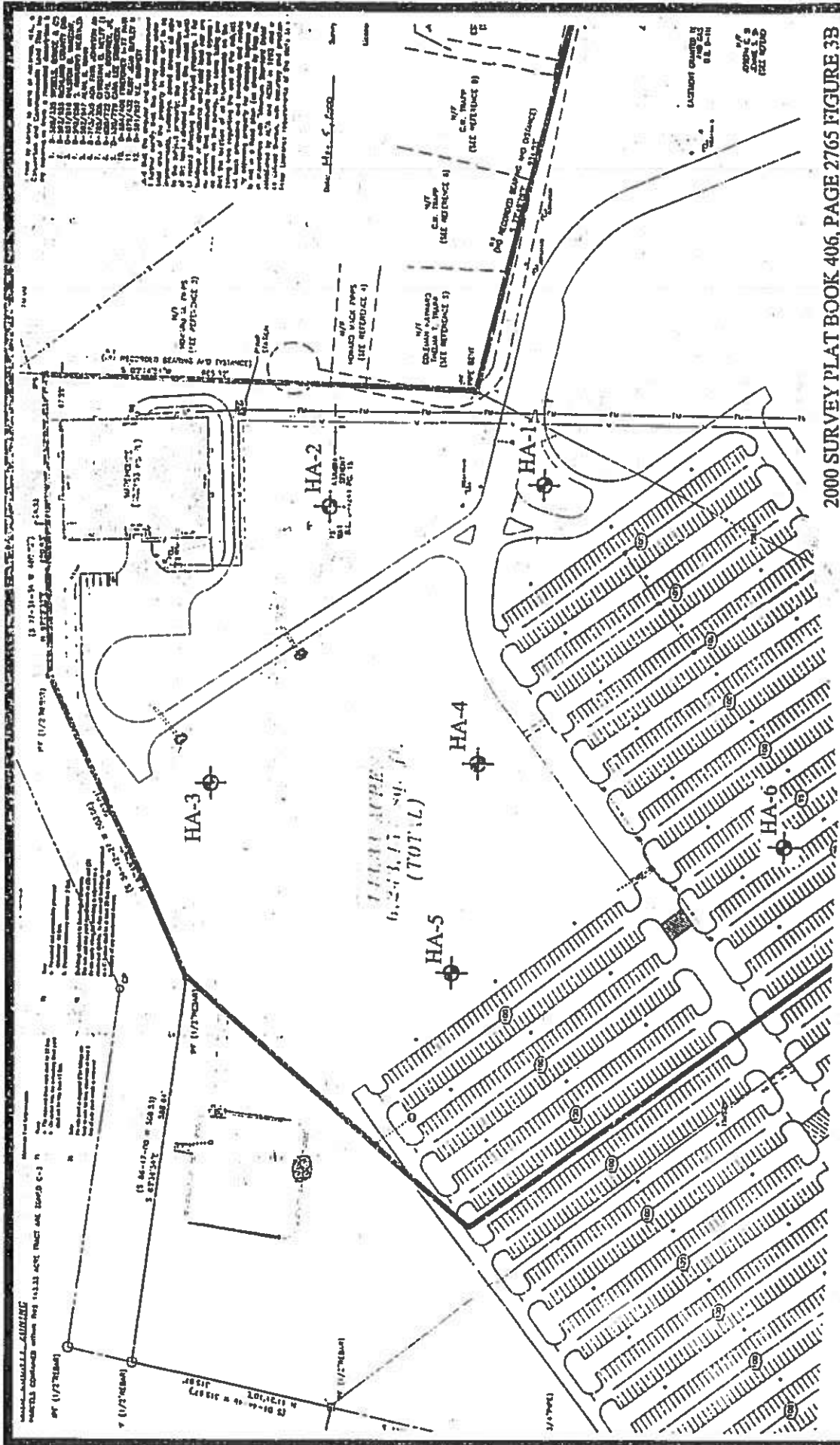
CONSULTANTS

**SITE LOCATION PLAN
CSC ENTRANCE DRIVE AND PARKING
BLYTHEWOOD, SOUTH CAROLINA**

SOUTH CAROLINA DEPARTMENT OF PUBLIC SAFETY

DWN BY	N/A
CKD.BY	N/A
APPR'D.	N/A

SCALE:	N.T.S.
PROJECT:	G3770.02
FIGURE:	1



F & M E
CONSULTANTS

SOIL TEST BORING LOCATION PLAN
CSC ENTRANCE DRIVE AND PARKING

2000 SURVEY PLAT BOOK 406, PAGE 2765 FIGURE 3B

SOUTH CAROLINA DEPARTMENT OF PUBLIC SAFETY

DWN. BY

N/A

SCALE: Not to Scale

CKD. BY

N/A

Project: G3770.02

APPR'D.

N/A

FIGURE 2

CSC Entrance Road - Blythewood
Blythewood, South Carolina
G3770.02

LOG OF BORING No. HA-1

Station:
Offset:

Date Performed: 03/06/02

Supervisor: A. Seibles and R. Wessinger

Approximate Ground Elevation (ft): 10.8

Water Level: None at T.O.B.

Notes:

REF: Dynamic Cone for Shallow In-Situ Penetration Testing; Sowers & Hedges

Elevation (ft)	Depth (ft)	MATERIAL DESCRIPTION	Graphic Log	Sample Depth (ft)	Sample Type-No.	N Value	COMMENTS
		Topsoil - Sampled as: Dk. Gray Fine to Medium SAND w/ Clay (SP-SC)					
	1.0	Loose to Firm - Tan Clayey Fine to Medium SAND (SC)		1.0 1.0	DS-1	9	Moist
	3.0	Firm to Very Firm - Orange Clayey Fine to Medium SAND (SC) w/ Gray Mottling		3.0 3.0	DS-2	14	Moist
	5.0	Boring Terminated @ 5.0 Feet		4.5 5.0	DS-3	18	Damp

LEGEND

SAMPLER TYPE

- DS - Disturbed Sample
- ST - Shelby Tube
- VS - Vane Shear
- DT - Drive Tube
- CU - Cuttings
- CT - Continuous Tube

ABBREVIATIONS

- W.O.H- Weight Of Hammer
- T.O.B. - Time Of Boring

CSC Entrance Road - Blythewood
Blythewood, South Carolina
G3770.02

LOG OF BORING No. HA-2

Station:

Offset:

Date Performed: 03/06/02

Supervisor: A. Seibels and R. Wessinger

Approximate Ground Elevation (ft):

Water Level: None at T.O.B.

Notes:

REF: Dynamic Cone for Shallow In-Situ Penetration Testing; Sowers & Hodges

Elevation (ft)	Depth (ft)	MATERIAL DESCRIPTION	Graphic Log	Sample Depth (ft)	Sample Type-No.	N Value	REMARKS
		Topsoil - Sampled as: Black Fine to Medium SAND w/ Clay (SP-SC)		1.0		3	
	2.5	Firm - Tan Clayey Fine to Medium SAND (SC)		2.5	DS-1	12	Moist
	4.5	Very Firm - Tan and Orange (Mottled) Clayey Fine to Medium SAND (SC)		5.0		18	
	5.0	Boring Terminated @ 5.0 Feet					

LEGEND

SAMPLER TYPE

- DS - Disturbed Sample
- ST - Shelby Tube
- VS - Vane Shear
- DT - Drive Tube
- CU - Cuttings
- CT - Continuous Tube

ABBREVIATIONS

- W.O.H. - Weight Of Hammer
- T.O.B. - Time Of Boring

CSC Entrance Road - Blythewood
Blythewood, South Carolina
G3770.02

LOG OF BORING No. HA-3

Station:
Offset:

Date Performed: 03/06/02

Supervisor: A. Seibles and R. Wessinger

Approximate Ground Elevation (m):

Water Level: None at T.O.B.

Notes:

REF: Dynamic Cone for Shallow In-Situ Penetration Testing; Sowers & Hedges

Elevation (ft)	Depth (ft)	MATERIAL DESCRIPTION	Graphic Log	Sample Depth (ft)	Sample Type-No.	N Value	COMMENTS
		Topsoil - Sampled as: Loose to Firm - Black and Tan Fine to Medium SAND w/ Clay (SP-SC)		1.0		7	
				3.0		11	
				3.0	DS-1		Moist
				4.0			
	4.0	Loose - Tan Clayey Fine to Medium SAND (SC)		4.0	DS-2		Moist
	4.5	Loose - Orange Clayey Fine to Medium SAND (SC)		4.5	DS-3		Very Moist
	5.0	Boring Terminated @ 5.0 Feet		5.0		5	

LEGEND

SAMPLER TYPE

- DS - Disturbed Sample
- ST - Shelby Tube
- VS - Vane Shear
- DT - Drive Tube
- CU - Cuttings
- CT - Continuous Tube

ABBREVIATIONS

- W.O.H. - Weight Of Hammer
- T.O.B. - Time Of Boring

PENELOG G377002.GPJ SC DOT.GDT 3/6/02

CSC Entrance Road - Blythewood
Blythewood, South Carolina
G3770.02

LOG OF BORING No. HA-4

Station:

Offset:

Notes:

REF: Dynamic Cone for Shallow In-Situ
Penetration Testing; Sowers & Hedges

Date Performed: 03/06/02

Supervisor: A. Seibles and R. Waesinger

Approximate Ground Elevation (ft): 10.0

Water Level: None at T.O.B.

Elevation (ft)	Depth (ft)	MATERIAL DESCRIPTION	Graphic Log	Sample Depth (ft)	Sample ID	N Value	COMMENTS
	0.5	Topsoil - Sampled as: Loose Black Fine to Medium SAND w/ Clay (SP-SC)		0.5			
		Loose - Tan Clayey Fine to Medium SAND (SC)		1.0	DS-1	5	Moist
	2.5	Loose - Tan and Orange (Mottled) Clayey Fine to Medium SAND (SC)		3.0	DS-2	6	Moist
	4.0	Firm to Very Firm - Gray and Orange (Mottled) Clayey Fine to Medium SAND (SC)		4.5			
	5.0	Boring Terminated @ 5.0 Feet		5.0	DS-3	16	Moist

LEGEND

SAMPLER TYPE

- DS - Disturbed Sample
- ST - Shelby Tube
- VS - Vane Shear
- DT - Drive Tube
- CU - Cuttings
- CT - Continuous Tube

ABBREVIATIONS

- W.O.H. - Weight Of Hammer
- T.O.B. - Time Of Boring

CSC Entrance Road - Blythewood Blythewood, South Carolina G3770.02	LOG OF BORING No. HA-5 Station: Offset: Notes: REF: Dynamic Cone for Shallow In-Situ Penetration Testing; Cowars & Hedges
Date Performed: 03/06/02	
Supervisor: A. Seibles and R. Wessinger	
Approximate Ground Elevation (ft):	
Water Level: 3.0 Feet Feet at A T.O.B. Hours from T.O.B.	

Elevation (ft)	Depth (ft)	MATERIAL DESCRIPTION	Graphic Log	Sample Depth (ft)	Sample Type-No.	N Value	COMMENTS
	0.5	Topsoil - -Sampled as: Black Fine to Medium SAND w/ Clay (SP-SC)		0.5			
		Loose to Firm - Gray and Tan Fine to Medium SAND w/ Clay (SP-SC)		1.0	DS-1	6	Moist
				3.0		15	
	4.0	Loose - Gray and Orange (Mottled) Clayey Fine to Medium SAND (SC)					
	5.0	Boring Terminated @ 5.0 Feet		5.0		8	

LEGEND

<p style="text-align: center;">SAMPLER TYPE</p> DS - Disturbed Sample ST - Shelby Tube VS - Vane Shear DT - Drive Tube CU - Cuttings CT - Continuous Tube	<p style="text-align: center;">ABBREVIATIONS</p> W.O.H. - Weight Of Hammer T.O.B. - Time Of Boring
---	--

PENELOG G377002.GPJ SC_DOT.GDT 3/6/02

CSC Entrance Road - Blythewood
Blythewood, South Carolina
G3770.02

LOG OF BORING No. HA-6

Station:

Offset:

Notes:

REF: Dynamic Cone for Shallow In-Situ
Penetration Testing; Sowers & Hedges

Date Performed: 03/06/02

Supervisor: A. Seibles and R. Wessinger

Approximate Ground Elevation (m):

Water Level: None at T.O.B.

Elevation (ft)	Depth (ft)	MATERIAL DESCRIPTION	Graphic Log	Sample Depth (ft)	Sample Type-No.	N Value	COMMENTS
	0.7	Topsoil - Sampled as: Black Fine to Medium SAND w/ Clay (SP-SC)		0.7			
	1.0	Firm to Loose - Tan and Orange Clayey Fine to Medium SAND (SC)		1.0	DS-1	15	Moist
	3.5	Loose to Very Firm - Orange Clayey Fine to Medium SAND (SC)		3.5	DS-2	9	Moist
	5.0	Boring Terminated @ 5.0 Feet		5.0		18	

LEGEND

SAMPLER TYPE

- DS - Disturbed Sample
- ST - Shelby Tube
- VS - Vane Shear
- DT - Drive Tube
- CU - Cuttings
- CT - Continuous Tube

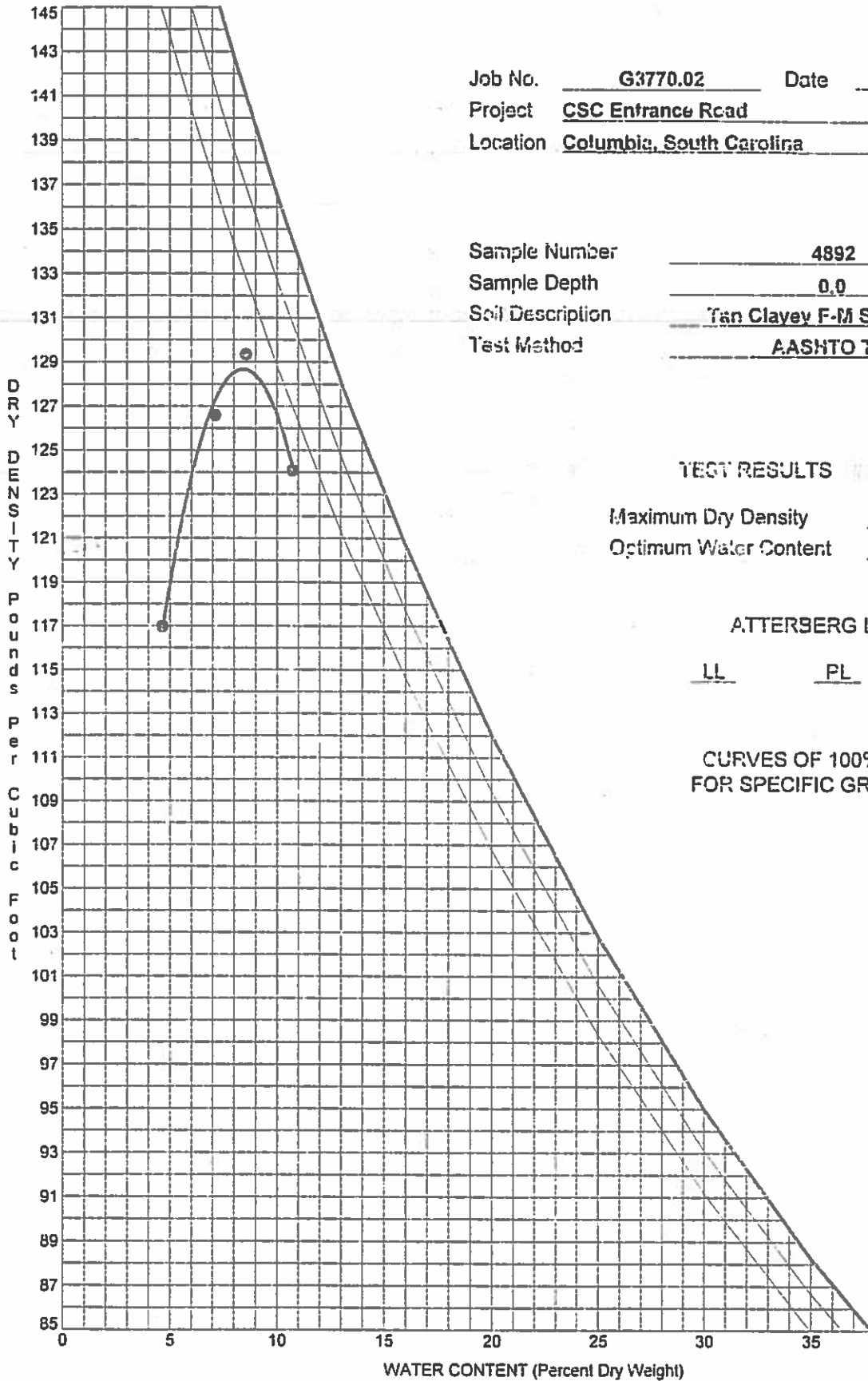
ABBREVIATIONS

- W.O.H- Weight Of Hammer
- T.O.B. - Time Of Boring

PENELOG G377002.GPJ SC_DOT.GDT 3/6/02

Job No. G3770.02 Date 3/7/02
 Project CSC Entrance Road
 Location Columbia, South Carolina

Sample Number 4892
 Sample Depth 0.0
 Soil Description Tan Clayey F-M SAND (SP)
 Test Method AASHTO T99



TEST RESULTS

Maximum Dry Density 128.5 PCF
 Optimum Water Content 8.5 %

ATTERBERG LIMITS

LL PL PI

CURVES OF 100% SATURATION
 FOR SPECIFIC GRAVITY EQUAL TO:

2.80

2.70

2.60

MOISTURE-DENSITY RELATIONSHIP

CALIFORNIA BEARING RATIO TEST

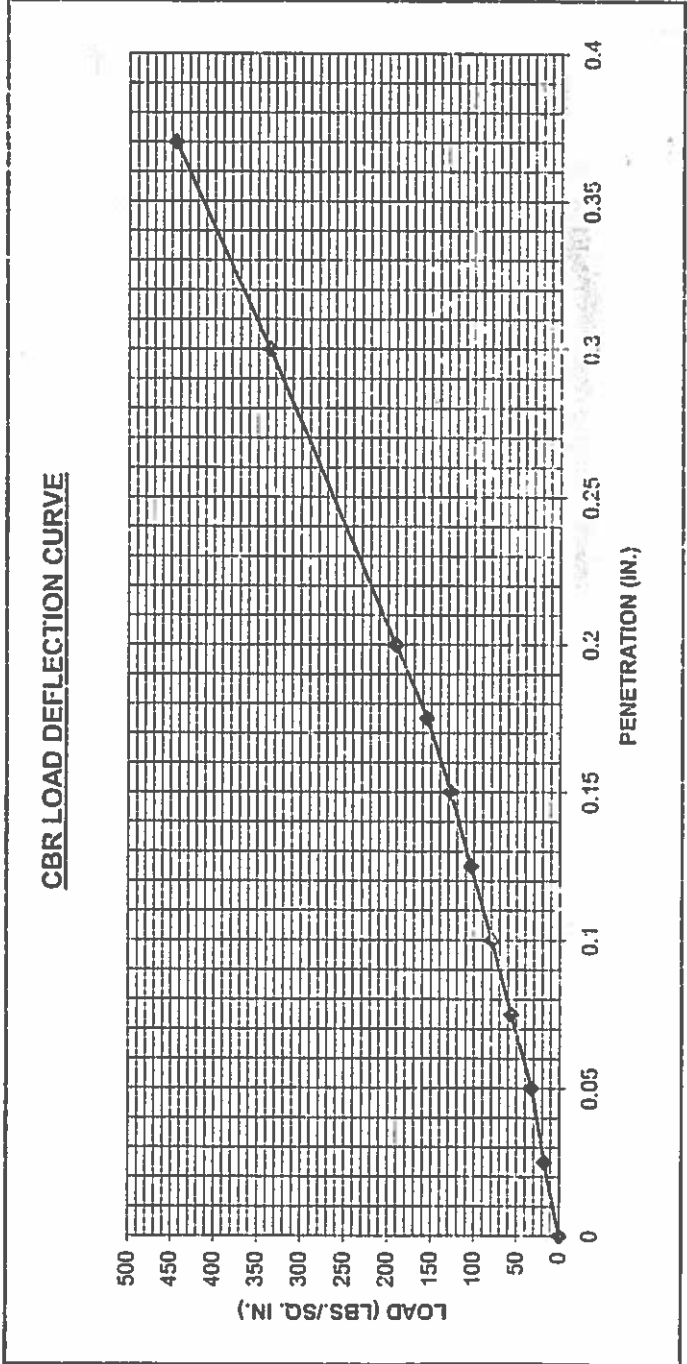
PROJECT CSC Entrance Road LOCATION: Proposed Parking Area SAMPLE # 4992 DEPTH 1-2'
 DATE 3/11/2002 USCS: SC SOIL DESCRIPTION: Grey Clayey Fine to Medium SAND

PROCTOR TEST VALUES

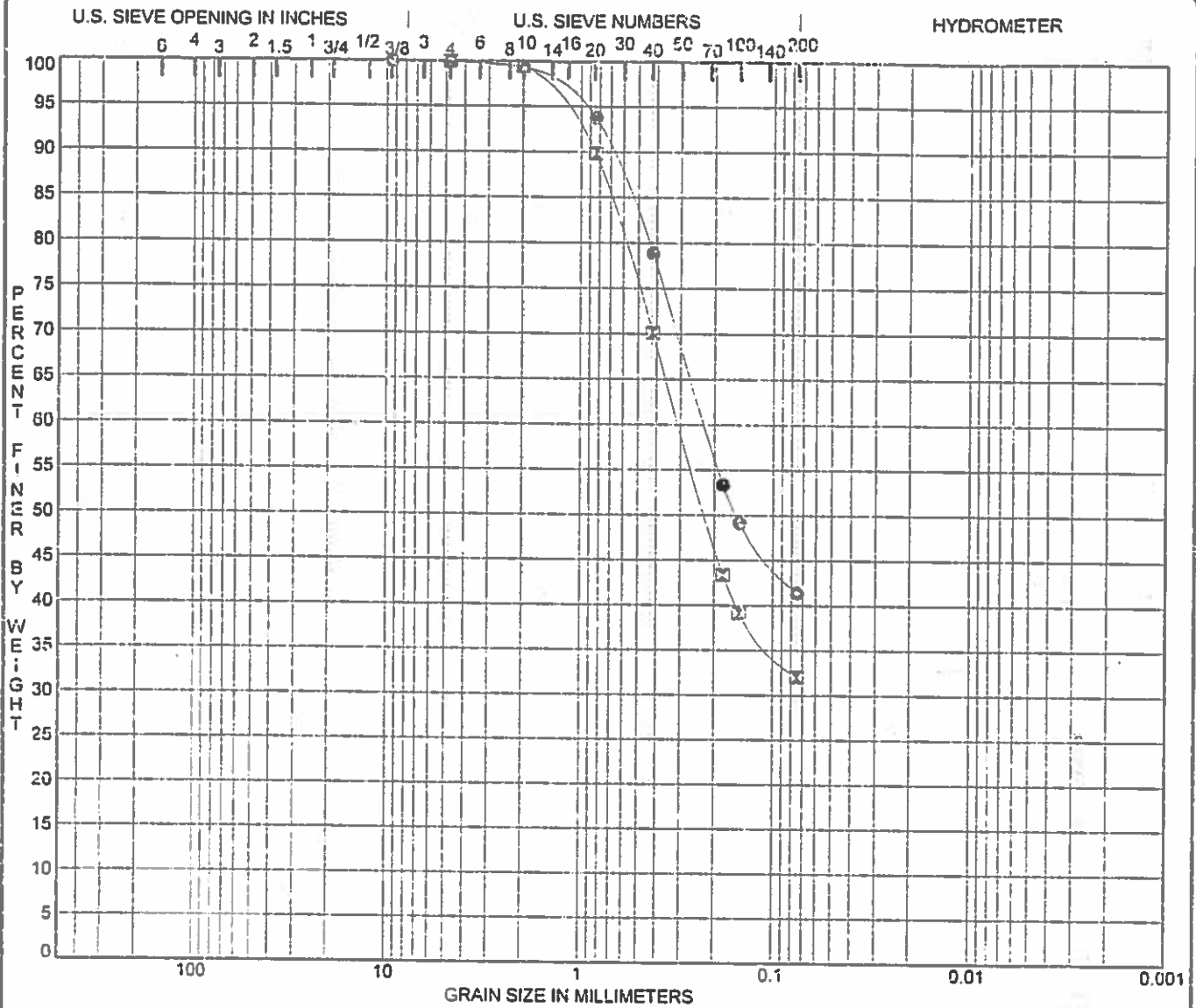
MAXIMUM DRY DENSITY (PCF): 128.5 SOAKED CBR TEST VALUES (ASTM-D-1883)
 OPTIMUM MOISTURE (%): 8.5% MOLDED DRY DENSITY (PCF): 128.3
 METHOD: AASHTO T99 % MAXIMUM DRY DENSITY: 99.1

NOTES:

MOLDED MOISTURE CONTENT (%): 8.4%
 SOAKING PERIOD (HOURS): 96
 SURCHARGE (Lbs.): 10
 % SHRINK: 0.2
 CBR @ 0.1" PENETRATION: 8.0
 CBR @ 0.2" PENETRATION: 12.7
 REMARKS:



F&ME
 CONSULTANTS



COBBLES	GRAVEL		SAND			SILT OR CLAY
	coarse	fine	coarse	medium	fine	

Specimen Identification	Classification	MC%	LL	PL	PI	Cc	Cu
● HA-3 4.5	Tan Clayey F-M SAND (SC)	12.8	20	12	8		
☒ HA-4 3.0	Tan & Orange Mottled Clayey F-M SAND (SC)	12.8	25	13	12		

Specimen Identification	D100	D60	D30	D10	%Gravel	%Sand	%Silt	%Clay
● HA-3 4.5	9.52	0.22			0.2	58.4	41.4	
☒ HA-4 3.0	4.76	0.30			0.0	67.9	32.1	









PROJECT CSC Entrance Road JOB NO. G3770.02
 LOCATION Columbia, South Carolina DATE 3/9/02

**CORRELATION OF PENETRATION RESISTANCE
WITH RELATIVE DENSITY AND CONSISTENCY**













TABLE I

	NO. OF BLOWS, N	RELATIVE DENSITY	PARTICLE SIZE IDENTIFICATION	
SANDS:	0-4	Very Loose	BOULDERS:	Greater than 300 mm
	5-10	Loose	COBBLES:	75 mm to 300 mm
	11-20	Firm	GRAVEL: Coarse -	19.0 mm to 75 mm
	21-30	Very Firm	Fine -	4.75 mm to 19.0 mm
	31-50	Dense	SANDS: Coarse -	2.00 mm to 4.75 mm
OVER 50	Very Dense	Medium -	0.425 mm to 2.00 mm	
		CONSISTENCY	Fine -	0.075 mm to 0.425 mm
SILTS & CLAYS	0-1	Very Soft	SILTS & CLAYS:	Less than 0.075 mm
	2-4	Soft		
	5-8	Firm		
	9-15	Stiff		
	16-30	Very Stiff		
OVER 30	Hard			

KEY TO DRILLING SYMBOLS

	Split Spoon Sample		Moisture Content		Water Table at T.O.B.
	Disturbed Sample		Vane Shear		Water Table at 24 hr.
	Rock Core		Auger Probe		

KEY TO SOIL CLASSIFICATIONS

	ML - Low Plasticity Inorganic Silts		CL - Low Plasticity Inorganic Clays
	MH - High Plasticity Inorganic Silts		CH - High Plasticity Inorganic Clays
	OH - High Plasticity Organic Silts and Clays		Limestone
	SP - Poorly Graded Sands		Grassmat and Topsoil
	SC - Clayey Sands		River/Creek Water
	SC-SP - Typical Dual Classification		Crusher Run

**PHASE I ENVIRONMENTAL SITE ASSESSMENT
MYND CENTER TRACT
50-ACRES
10301 WILSON BOULEVARD
BLYTHEWOOD, SOUTH CAROLINA**

**REPORT PREPARED FOR
SOUTH CAROLINA DEPARTMENT OF PUBLIC SAFETY
5410 BROAD RIVER ROAD
COLUMBIA, SOUTH CAROLINA 29210-4026**

**BY
F&ME CONSULTANTS
Geotechnical / Environmental / Materials
P. O. Box 5855
Columbia, South Carolina 29250
(803) 254-4540**

March 12, 2002

F&ME NO.: E3770

TABLE OF CONTENTS

**Page
Number**

A. SUMMARY 1

B. INTRODUCTION2

1. Purpose.....2

2. Special Terms and Conditions.....2

3. Limitations and Exceptions of Assessment.....2

 3.1 Observations Made Under Conditions Stated2

 3.2 Information Provided by State and Local Offices3

 3.3 Visual Observation Made of the Site.....3

 3.4 Tests and Analyses Performed.....3

 3.5 Physical Characteristics of the Subject Site3

 3.6 Findings and Conclusions.....3

 3.7 Groundwater.....3

 3.8 Quantitative Laboratory Testing.....4

 3.9 Conclusions and Recommendations Based Upon Laboratory Data4

 3.10 Chemical Analyses.....4

 3.11 Further Hydrogeologic and Geotechnical Engineering Services4

 3.12 Engineering Assessment and Radon Investigation4

 3.13 Dissemination of Report.....4

4. Limiting Conditions and Methodology Used5

C. SITE DESCRIPTION5

1. Location and Legal Description.....5

2. Site and Vicinity Characteristics.....5

 2.1 Site Characteristics.....5

 2.1.1 Site Observations5

 2.1.2 Observed Surface Conditions6

 2.1.3 General Subsurface Conditions6

 2.1.4 General Groundwater Conditions.....6

 2.1.5 General Area Geology6

 2.1.6 Site Reconnaissance to Assess On-Site Conditions.....6

 2.1.7 Review of Utility Locations.....7

 2.2 Vicinity Characteristics.....7

 2.2.1 Adjacent Land7

 2.2.2 Minimum Search Distance7

3. Descriptions of Structures, Roads, Other
Improvements on the Site7

4. Information Reported by User Regarding Environmental
Liens or Specialized Knowledge of Experiences7

5. Current Uses of Property.....8

TABLE OF CONTENTS

Page
Number

6. Past Uses of Property8
7. Current and Past Uses of Adjoining Properties8
8. Site Plan.....8

D. RECORDS REVIEW8

1. Physical Setting Source.....8
2. Historical Use Information8
 2.1 Title Search to Delineate Current and Past Ownerships8
 2.1.1 Current Ownership.....9
 2.1.2 Previous Ownership.....9
3. Additional Record Sources14
 3.1 Information Pertaining to the Tract 14
 3.2 Review of Environmentally Related Permits15
 3.3 Review of Well Records16
 3.4 Inquiry to Regulatory Agencies Concerning Potential Environmental Problems 16

E. INFORMATION FROM SITE RECONNAISSANCE AND INTERVIEWS.....17

1. Hazardous Substances in Connection with Identified Uses17
2. Hazardous Substance Containers and Unidentified Substance Containers17
3. Storage Tanks.....17
 3.1 Review of Storage Tanks Registration and Information.....17
4. Indication of PCBs17
5. Indication of Solid Waste Disposal17
6. Physical Setting Analysis.....17
7. Conditions of Concern17
8. Site Plan.....18

F. FINDINGS AND CONCLUSIONS18

G. SIGNATURE OF ENVIRONMENTAL PROFESSIONAL18

H. QUALIFICATIONS OF ENVIRONMENTAL PROFESSIONAL19

I. APPENDICES

1. Maps and Photographs
2. Interview Documents
3. Transaction Screen Questionnaire ASTM E1528
4. Deeds

PHASE I ENVIRONMENTAL SITE ASSESSMENT
MYND CENTER TRACT
50-ACRES
BLYTHEWOOD, SOUTH CAROLINA

COLUMBIA OFFICE
P.O. BOX 5855
Columbia, SC 29250
3112 Devine St.
Columbia, SC 29205
ph (803) 254-4540
fx (803) 254-4542

MYRTLE BEACH OFFICE
517 9TH Avenue N.
Myrtle Beach, SC 29577
ph (843) 626-9253

A. SUMMARY

F&ME CONSULTANTS has performed a Phase I Environmental Site Assessment on the 50-acre MYND Center Tract in Blythewood, South Carolina.

This assessment was conducted in general compliance with the procedures and guidelines outlined in the South Carolina State Budget and Control Board Guidelines for Obtaining Studies for Land Acquisitions and ASTM E 1527-97. The investigation consisted of reasonably ascertainable: title search, historical records review, historical photographs review, operational records review, and review of South Carolina Department of Health and Environmental Control (SCDHEC) records.


The 50-acre tract was visually inspected on February 28, 2002. The site inspection also included a visual inspection of the present usage of adjoining and surrounding properties within the approximate minimum search distance. During the site inspection, the ASTM E 1528-96 Transaction Screen Questionnaire was completed as required.


We have recorded our findings, conclusions and the responses to the ASTM E 1528-96 Questionnaire herein. At this time, no Phase II Environmental Site Assessment is recommended.

If there are any questions concerning this Phase I Environmental Site Assessment, or if we can be of any further assistance on this project, please do not hesitate to contact us. We appreciate the opportunity to have provided this service.

Sincerely,

F&ME CONSULTANTS


Robert S. Powell, P.G.
Chief Geologist
SC License #417


James R. Wessinger
Staff Geologist

RSP/JRW/kws

B. INTRODUCTION

1. Purpose

F&ME CONSULTANTS has performed a Phase I Environmental Site Assessment for the South Carolina Department of Public Safety on the 50-acre MYND Center located at 10301 Wilson Boulevard in Blythewood, South Carolina (Figure 1, Appendix I, 1). This investigation was performed to evaluate, to the extent feasible, environmental data concerning the general site conditions with respect to the potential for environmental situations which might possibly impact the subject property. Visual inspection of the property was made on February 28, 2002 in order to identify evidence of recognized environmental concerns.

Based upon the information obtained from the visual reconnaissance, maps, aerial photographs, records search and ASTM E 1528-96 Questionnaire response, we have recorded our findings and conclusions herein.

2. Special Terms and Conditions

The South Carolina Department of Public Safety (SCDPS) has requested a Phase I Environmental Site Assessment. The formats as stated in the South Carolina State Budget and Control Board Policy for Environmental Studies for Land Acquisitions (12-01-97) and ASTM E 1527-97 were utilized as the guidelines for this Phase I Environmental Site Assessment.

3. Limitations and Exceptions of Assessment

All work product and reports provided by F&ME Consultants in connection with the performance of Environmental Site Assessments (i.e., Phase I, Phase II, and any remediation related services), including all work performed under this Phase I Environmental Site Assessment for Professional Services and any follow-up work are subject to the following limitations:

- 3.1 The observations described in this Phase I Environmental Site Assessment (Phase I) are made under the conditions stated herein. The findings and conclusions presented in this Phase I are based solely upon the services described herein, and not on scientific tasks or procedures beyond the special terms and conditions of described services or the time and budgetary constraints imposed by the SCDPS. The work described in this Phase I has been performed in accordance with the S.C. State Budget and Control Board Policy for Obtaining Environmental Studies for Land Acquisition, Policy Statement, Guidelines for Obtaining Environmental Studies and Criteria for Environmental Studies.

- 3.2 In preparing this Phase I, F&ME Consultants has relied on information provided by state and local offices, information and representation made by other parties, information contained in the files of state and/or local agencies made available to F&ME Consultants as referenced herein. To the extent that such files are missing, incomplete or not provided to F&ME Consultants, F&ME Consultants is not responsible. If there is an overlap in the information provided by the various officials, other parties and agencies, F&ME Consultants does not attempt to independently verify the accuracy or completeness of all information reviewed or received to be incorporated into this Phase I.
- 3.3 Visual observations made of the site are as indicated within the Phase I. Where access to portions of the site is unavailable or limited, F&ME Consultants renders no opinion as to the presence or absence of potential environmental concerns, either indirectly or directly from the subject site, abutting/adjacent sites or contents of on-site/off-site building structures.
- 3.4 Unless otherwise stated or specified in this Phase I, F&ME Consultants has not performed any testing or analyses to determine the presence or concentration of environmental concerns (i.e., asbestos containing building materials, polychlorinated biphenyls, radon, hydrocarbons, lead-based paint, etc.) either on the subject site or on abutting/adjacent properties that may environmentally impact the subject site.
- 3.5 The purpose of the Phase I is to address the physical characteristics of the subject site with respect to the potential presence of environmental concerns on the date of the visual inspection. This includes the review of records made available by the various agencies and present or past owners or operators of the subject site with respect to federal, state and local laws, regulations and environmental concerns. However, no warranty or guarantee, either stated or implied, is given concerning the authenticity of the various agencies and present or past owners or operators of the subject site or the completeness of federal, state or local records.
- 3.6 The findings and conclusions of this Phase I are based, in part, upon the data (information) obtained from the records made available by others and from the visual subject site inspection. If variations or latent conditions appear or become evident, it will be necessary to re-evaluate the findings and conclusions presented in this Phase I.
- 3.7 Depths to groundwater throughout the subject site will be largely controlled by rainfall frequency, intensity and stormwater movements. Therefore, groundwater should not be considered static. Furthermore, the scope of this phase of assessment does not include investigating groundwater quality or levels.

- 3.8 Except as noted within the text of this Phase I, no quantitative laboratory testing has been performed as part of the subject site assessment. Where such analyses have been conducted by an outside laboratory (and made available), F&ME Consultants has relied exclusively upon the laboratory data provided, and has not conducted an independent evaluation of the reliability of these tests.
- 3.9 If the conclusions and recommendations contained in the Phase I are based, in part, upon various types of laboratory data; then the conclusions and recommendations are contingent upon the validity of such data. These data (if obtained) are reviewed and interpretations are made in this Phase I. If indicated within this Phase I, some of these data may be preliminary "screening" level data and should be confirmed with quantitative analyses if more specific information is necessary. Moreover, it should be noted that variations in the types and concentrations of contaminants and variations in their flow paths may occur due to seasonal water table fluctuations, past disposal practices, the passage of time, and other factors. Should additional chemical data become available in the future, these data may alter the basis of the conclusions and recommendations presented in this Phase I.
- 3.10 Chemical analyses may be performed for specific parameters during the course of this site assessment, as described in the text of the Phase I. However, it is understood that additional chemical constituents not searched for during the current study may be present in soil, ground water, or surface water at the subject site.
- 3.11 It is recommended that F&ME Consultants be retained to provide further environmental, hydrogeologic and geotechnical engineering services during the conduct of further exploration or the construction and/or implementation of any remedial measures recommended in F&ME Consultant's Phase I. This is to allow F&ME Consultants and the SCDPS to observe consistency with the concepts and recommendations contained herein, and to allow the development of changes to the remedial program in the event that subsurface conditions or other conditions differ from those anticipated.
- 3.12 This Phase I Environmental Site Assessment does not include addressing any issues pertaining to the structural integrity of the soils, building or pavements and no portion of this report should be used as nor construed as an engineering assessment or investigation.
- 3.13 This report has been prepared exclusively for the SCDPS and shall not be disseminated in whole or in part to other parties without prior consent from the SCDPS.

4. Limiting Conditions and Methodology Used

Field operations are limited to a site inspection and observation of the surrounding areas. The site inspection consisted of a visual inspection of the property to document any evidence of recognized negative environmental conditions that may presently exist. The surrounding areas were visually observed (by vehicle) to assess present usages and any possible negative environmental impact they may have on the subject property.

The basic premise for the Phase I Environmental Site Assessment is a visual inspection of the property and reasonably ascertainable historical records review to document the present and past usage of the property. This is done to determine the present environmental status, and to indicate whether or not a Phase II Environmental Site Assessment is warranted.

C. SITE DESCRIPTION

1. Location and Legal Description

The subject property (50 acres) is a portion of a 143.33 acre tract which is located in the northern quadrant of the Interstate Highway 77 and U.S. Highway 21 (Wilson boulevard) interchange in Blythewood, South Carolina. Refer to Appendix 1 for location map, survey and legal description.

2. Site and Vicinity Characteristics

2.1 Site Characteristics

The subject tract contains the items listed under 2.1.1 and exhibits a surrounding surface relief of approximately 430 to 444 feet (mean sea level) according to the 1971/1990 USGS Blythewood, S.C. quadrangle map.

2.1.1 Site Observations

On the date of the site inspection, February 28, 2002, the following were observed on the subject tract:

- 1) Woods;
- 2) Surface vegetation;
- 3) Paved roads;
- 4) Unpaved road;
- 5) Ditches;
- 6) Guard house;
- 7) Gates;
- 8) Paved parking area;
- 9) Open area;
- 10) Above and below ground utilities;
- 11) Head of spring retention area;

- 12) Pump station;
- 13) Warehouse;
- 14) Two four-story buildings with basements; and
- 15) Emergency generator with UST.

2.1.2 Observed Surface Conditions

At present, the subject tract contains items previously noted and exhibits no unusual surface stains or distressed vegetation as observed during the site inspection.

2.1.3 General Subsurface Conditions

Surface soils within the property, as noted by the U.S. Department of Agriculture, Natural Resource Conservation Service, are defined as belonging to the following soil series: Blanton (BaB), Fuquay (FuA and FuB), Lakeland (LaB) and Nason (NaE).

2.1.4 General Groundwater Conditions

Depths to groundwater throughout the site will be largely controlled by rainfall frequency, intensity and storm water movement. Therefore, reference to groundwater in this area should not be considered static. Furthermore, the scope of this phase of assessment does not include investigating groundwater quality or levels.

2.1.5 General Area Geology

The subject tract is geologically located in the Blythewood quadrangle (Figure 2). This area is located across the Fall Line zone in Central South Carolina and is geologically considered as being in the Carolina Slate Group.

The rocks of the Carolina Slate Group consist of a geo-synclinal accumulation of volcanic flows, tuffs, tuffites and the fine grained sedimentary rocks of the graywacke type. They range in composition from mafic to felsic.

Above this group, lies unconformably the Middendorf Formation, which in turn, is overlain by younger relatively unconsolidated sands of the Late Cretaceous age.

2.1.6 Site Reconnaissance To Assess On-Site Conditions

As previously stated, F&ME Consultants has visually inspected the subject tract. No recognized negative environmental conditions appeared to exist.

2.1.7 Review Of Utility Locations

There are above ground and below ground utilities within the subject property.

2.2. Vicinity Characteristics

The vicinity surrounding the subject property contains the following:

- 1) Interstate Highway 77;
- 2) U.S. Highway 21 (Wilson Boulevard);
- 3) Woods;
- 4) MYND Center facilities;
- 5) Unpaved roads;
- 6) Paved roads;
- 7) CSC facilities;
- 8) Mobile homes;
- 9) Single family dwellings;
- 10) Service stations;
- 11) Childcare facility; and
- 12) Cell tower.

2.2.1 Adjacent Land

At present, adjacent lands contain the following:

- 1) North – Woods and a detention pond.
- 2) East – Woods, residences and U.S. Highway 21.
- 3) South – Buildings, open areas, trees, paved roads and athletic facilities.
- 4) West – Paved parking areas and roads, buildings and Interstate Highway 77.

2.2.2 Minimum Search Distance

At the time the visual inspection was made, within the recommended appropriate minimum search distance as prescribed by ASTM E 1527-97, the off-site usages are noted as previously stated in Section 2, Site and Vicinity Characteristics, Subsection 2.2 Vicinity Characteristics above.

3. Description of Structures, Roads and Other Improvements On-Site

There are improvements on the subject property. These consist of three buildings, paved parking areas, paved roads, guard house and landscaped areas.

4. Information Reported by User Regarding Environmental Liens or Specialized Knowledge of Experiences

No environmental liens or specialized knowledge of experiences were located during the records search.

5. Current Uses of Property

The current usage of the property, as observed during the site inspection and from available information, is for commercial use.

6. Past Uses of Property

Past usages, as evidenced by the available aerial photographs and records reviewed, indicate the property contained cultivated fields, woods and residences.

7. Current and Past Uses of Adjoining Properties

The current uses of the surrounding properties, as observed during the site inspection and aerial photographs, exhibited commercial facilities, Interstate Highway 77, U.S. Highway 21, woods and residences. The past usages of the surrounding properties, as indicated by the aerial photographs, are woods, cultivated fields, residences and U.S. Highway 21.

8. Site Plan

See Figures 3A and 3B, Appendix I, 1.

D. RECORDS REVIEW

1. Physical Setting Source

The subject property is both developed and undeveloped and is surrounded by commercial facilities, Interstate Highway 77, U.S. Highway 21 and rural and agricultural areas (refer to Appendix I, 1).

2. Historical Use Information

Historical use information, as noted from the aerial photographs, Richland County Tax Assessor's Office and deeds, indicates the tract to be currently used for commercial purposes and past uses as indicated in Section C paragraph 6 above.

2.1 Title Search to Delineate Current and Previous Ownerships

Current and previous reasonably ascertainable ownerships were reviewed in the Richland County Office of the Register of Deeds and Tax Assessor's Office located in Columbia, S.C. provided by the law firm of Nelson, Mullins, Riley and Scarborough in Columbia, S. C. and compiled by Paralegal Associates of the Carolinas, Columbia, S.C.

2.1.1 Current Ownership:

Century Realty, LLC from MYND Corporation (formerly known as Policy Management Systems Corporation). Deed Book R512 page 326. Dated 04/30/01 and recorded 05/01/01. TMS#: 14900-02-01 and 14900-02-17. 143.77 acres.

2.1.2 Previous Ownership:

There are 13 parcels evidenced in the derivation of the current deed. The purpose of this section is to show the apparent chain of ownership and is not to be considered absolute or guaranteed. This is not an attempt to certify a clear title. Therefore, all names, dates and references shown should be researched and verified by a title search attorney.

Parcel 1:

Policy Management Systems from Seibels Bruce and Company. Deed Book D588 page 335. Dated 09/29/81.

Seibels Bruce and Company from Westvaco Corporation. Deed Book D582 page 283. Dated 05/26/81.

West Virginia Pulp & Paper Company (now know as Westvaco Corporation) from Lottie B. Derieux. Deed Book 72 page 563. Dated 03/18/51.

Parcels 2 and 3: These are two Quit-Claim Deeds for Right-of-ways no longer part of the County maintained Roadway System.

Policy Management Systems Corporation from Richland County Council. Deed Book D592 page 653. Dated 10/29/81.

Policy Management Systems Corporation from Richland County Council. Deed Book D592 page 656. Dated 10/29/81.

Parcel 4:

Policy Management Systems Corporation from Raymond G. McElveen, Sr. Deed Book D592 page 650. Dated 10/29/81.

Raymond G. McElveen from Stanley R. Fish and Charles V. Jeffcoat. Deed Book D554 page 337. Dated 10/03/80.

Stanley R. Fish and Charles V. Jeffcoat from Freeport Associates. Deed Book D553 page 542. Dated 09/29/80.

Freeport Associates from Sambo's of South Carolina, Inc. Deed Book D403 page 227. Dated 10/20/76.

Sambo's of South Carolina, Inc. from Carodale Associates. Deed Book D403 page 227. Dated 10/19/76.

Carodale Associates from Marshland Associates. Deed Book D369 page 532. Dated 12/30/75.

Marshland Associates from Owens T. Cobb, Jr., Master in Equity for Richland County. By Order of Judge John Grimball, dated 05/16/73 in the Court of Common Pleas for Richland County. Emmie Faust Dial vs Leon O. Grimsley, et al., Heirs of William A. Marsh, deceased. Deed Book D285 page 571.

William A. Marsh from Mary J. Ferrly (spelling) ?. Deed Book "R" page 292. Dated 10/06/1887.

Parcel 5:

Policy Management Systems Corporation from Alan B. Kahn. Deed Book D592 page 647. Dated 11/06/81.

Alan B. Kahn from A. K. Willingham. Deed Book D292 page 455. Dated 09/07/73.

Aaron K. Willingham from Lila P. Willingham (1/2 interest). Deed Book 335 page 407. Dated 09/07/62.

Lila P. Willingham and Aaron K. Willingham from Eloise M. Wooten. Deed Book 254 page 268. Dated 07/07/59.

Alan B; Kahn from S. C. Department of Highways and Public Transportation. Deed Book D592, page 645. Dated 10/29/81.

Parcels 6 and 7:

Policy Management Systems from Christian D. Nolff. (1/2 interest). Deed Book D785 page 308. Dated 03/11/86.

Policy Management Systems Corporation from Ada Faye Johnson and Jimmie M. Johnson (1/2 interest). Deed Book D785 page 305. Dated 03/27/86.

Ada Faye Johnson from Jimmie M. Johnson (1/4 interest). Deed Book D728 page 871. Dated 12/31/84.

Christian D. Nolff and Jimmie M. Johnson from Hyman Sribnick. Deed Book D457 page 788. Dated 04/10/78.

Hyman Sribnick from A. K. Willingham. Deed Book 279 page 368. Dated 07/25/60.

Parcel 8:

Policy Management Systems Corporation from Carl P. Godfrey, Jr. and Karen M. Godfrey. Deed Book D820 page 722. Dated 12/5/86.

Carl P. Godfrey, Jr. and Karen M. Godfrey from Cora Lee Sribnick. Deed Book D476 page 1. Dated 09/15/78.

Cora Lee Sribnick from Hyman Sribnick (1/2 interest). Deed Book D103 page 149. Dated in 1968.

Hyman Sribnick and Cora Lee Sribnick from Eloise M. Wooten. Deed Book 185 page 283. Dated 05/11/56.

Parcel 9:

Policy Management Systems Corporation from Cora Lee Sribnick. Deed Book D820 page 729. Dated 12/05/86.

Cora Lee Sribnick from Hyman Sribnick (1/2 interest). Deed Book D103 page 149. Dated in 1968.

Hyman Sribnick and Cora Lee Sribnick from Eloise M. Wooten. Deed Book 185 page 283. Dated 05/11/56.

Parcel 10:

Policy Management Systems from V. E. Barnett. Deed Book D591 page 957. Dated 10/28/81.

V. E. Barnett from J. R. Creech. Deed Book 183 page 184. Dated 04/06/56.

Parcel 11:

Policy Management Systems from Firetower I-77 Partners. Deed Book D884 page 406. Dated 04/12/88.

Firetower I-77 Partners from Sara B. Barnett, et al. Deed Book D884 page 404. Dated 04/08/88.

Sara B. Barnett, et al. from The Estate of V. E. Barnett. V. E. Barnett died 02/08/85 Richland County Estate File 86ES400085.

V. E. Barnett from Fred A. Scruggs. Deed Book "FT" page 74. Dated 11/28/44.

V. E. Barnett from J. A. Brown. Deed Book "ES" page 137. Dated 02/03/40.

Parcel 12:

Policy Management Systems from Ruby Jean Burley Mitchell f/k/a Ruby Jean Burley. Deed Book D879 page 432. Dated 03/07/88.

Ruby Jean Burley from Ola Mae E. Marsh. Deed Book D361 page 772. Dated 10/07/75.

Ola Mae E. Marshy from Wilburn Entzminger, et al. Deed Book 70 page 312. Dated 03/17/51.

Parcel 13:

Policy Management Systems from Ralston B. Vansant, II. Deed Book D651 page 816. Dated 06/15/83.

A. Ralston B. Vansant, II from George Entzminger. Deed Book D646 page 69. Dated 05/04/83.

George Entzminger from Wilburn Entzminger. Deed Book D239 page 609. Dated 04/12/72.

Wilburn Entzminger from Walter Entzminger, et al. Deed Book 70 page 303. Dated 03/17/51.

B. Ralston B. Vansant, II from Christopher B. Freeman and Donna N. Freeman. Deed Book D646 page 72. Dated 05/04/83.

Christopher B. Freeman and Donna N. Freeman from Margaret E. Haltiwanger. Deed book D539 page 897. Dated 05/13/80.

Margaret F. Haltiwanger from L. D. Haltiwanger. Deed Book D333 page 402. Dated 11/06/74.

L. D. Haltiwanger from Eloise Wooten. Deed Book 254 page 546. Dated 07/06/59.

- C. Ralston B. Vansant, II from Linda Sue Creech Maurer, f/k/a Linda Sue Creech. Deed Book D646 page 75. Dated 05/04/83.

Linda Sue Creech from Colie Entzminger. Deed Book 231 page 551. Dated 07/31/58.

- D. Ralston B. Vansant, II from Reece C. Johnson and Nancy F. Johnson. Deed Book D646 page 78. Dated 05/04/83

Reece C. Johnson and Nancy F. Johnson from Samuel A. McLean. Deed Book D72 page 653. Dated 05/10/67.

Samuel A. McLean from Iberia C. Jennings, now Iberia C. Griscom. Deed Book D17 page 185. Dated 07/01/65.

Iberia C. Jennings from George Ernest Hill and Delia C. Hill. Deed Book 204 page 590. Dated 03/19/57.

George Ernest Hill and Delia C. Hill from Eloise M. Wooten. Deed Book 193 page 260. Dated 09/11/56.

- E. Ralston B. Vansant, II from Verlie Marsh Hathaway a/k/a Verlie Marsh Wymer Hathaway. Deed Book D646 page 258. Dated 05/05/83.

Verlie Marsh Hathaway a/k/a Verlie Marsh Wymer Hathaway from Ola Mae Entzminger Marsh. Deed Book D440 page 402. Dated 09/21/77.

Ola Mae Entzminger Marsh from Wilburn Entzminger, et al. Deed book 70 page 312. Dated 03/17/51.

- F. Ralston B. Vansant, II from Verlie Marsh Hathaway a/k/a Verlie Marsh Wymer Hathaway. Deed Book D646 page 261. Dated 05/05/83.

Verlie Marsh Wymer Hathaway from William Curtis Marsh and Joyce Marsh. Deed Book D461 page 491. Dated 05/11/78.

Verlie Marsh Wymer Hathaway from Lonnie Hathaway, Jr. (1/2 interest) Deed Book D479 page 506. Dated 10/17/78.

Verlie Marsh Wymer Hathaway and Lonnie Hathaway, Jr. from William Curtis Marsh and Joyce Marsh. Deed Book D461 page 491. Dated 05/11/78.

William C. Marsh and Joyce Marsh from Ola Mae E. Marsh. Deed Book 354 page 295. Dated 04/23/63.

Ola Mae E. Marsh from Wilburn Entzminger, et al. Deed Book 70 page 312. Dated 03/17/51.

- G. Ralston B. Vansant, II from Paul R. Stepp and Kathryn D. Stepp. Deed Book D646 page 264. Dated 05/05/83.

Paul R. Stepp and Kathryn B. Stepp from Albert T. Marsh. Deed Book D575 page 291. Dated 05/01/81.

Albert T. Marsh from Ola Mae E. Marsh. Deed Book 313 page 181. Dated 10/26/61.

Ola Mae E. Marsh from Wilburn Entzminger, et al. Deed Book 70 page 312. Dated 13/17/51.

- H. Ralston B. Vansant, II from Bernard F. Wollgast, Jr. and Lucille R. Wollgast. Deed Book D646 page 267. Dated 05/05/83.

Bernard F. Wollgast, Jr. from Lucille R. Wollgast (1/2 interest). Deed Book D400 page 424. Dated 10/08/76.

Bernard F. Wollgast, Jr. and Lucille R. Wollgast from Eloise M. Wooten. Deed Book 328 page 21. Dated 05/30/62.

Eloise M. Wooten from Earl W. Wooten. Deed Book 91 page 313. Dated 04/23/52.

3. Additional Record Sources

3.1 Information Pertaining to the Tract

A review of the reasonably ascertainable historical records for the property indicates the chain of ownership listed above. Information pertaining to the property was reviewed in the Richland County Office of the Register of Deeds, Tax Assessor's Office and obtained from Nelson, Mullins, Riley and Scarborough, Paralegal Associates of the Carolinas and Thomas Cooper Library, University of South Carolina, Columbia, South Carolina.

Reasonably ascertainable historical records researched included a review of the following maps and aerial photographs:

Figure 1 - Site Location Map.

Figure 2 - 1971/1990 USGS Blythewood, SC quadrangle map – contours, open areas, surface vegetation, three building structures and a road.

Figure 3A - 2000 Survey – surface vegetative areas, springhead area, one building, a portion of a building, above ground utilities, below ground utilities and paved roadways.

Figure 3B - 2000 Survey – paved parking areas, paved roads, guardhouse, warehouse, portion of a building, open area, above ground utilities, below ground utilities and an unpaved road.

Figure 4 - 2001 Richland County Tax Assessor's Tax Maps #14900-02-01 and #14900-02-17 – three buildings, a portion of a building, acreage and two roads.

The aerial photographs (Figures 5 through 11) reviewed indicate the following on the property:

Figure 5 - 1999 Infrared aerial photograph – landscaped areas, paved parking areas, paved roads, open areas, woods, three buildings, guardhouse and an unpaved road.

Figure 6 - 1981 Aerial photograph – woods, unpaved roads, open areas and buildings.

Figure 7 - 1978 Richland County Tax Assessor's aerial photograph #149 – woods, open areas, buildings and unpaved roads.

Figure 8 - 1970 Aerial photograph – woods, open areas, buildings and unpaved roads.

Figure 9 - 1959 Aerial photograph – woods, open areas, buildings and unpaved roads.

Figure 10 - 1951 Aerial photograph – woods, open areas, buildings and unpaved roads.

Figure 11 - 1943 Aerial photograph – woods, open areas, buildings and unpaved roads.

The review of the FEMA Richland County, South Carolina flood map obtained from the South Carolina Department of Natural Resources indicated the following:

Richland County Community Panel #45079C0065G (January 19, 1994)

Zone X (no shading) – areas determined to be outside 500-year flood plain.

It is further noted that the property does not contain wetlands as indicated by a review of U.S. Department of the Interior, Fish and Wildlife Service, National Wetlands Inventory mapping obtained from the South Carolina Department of Natural Resources.

3.2 Review of Environmentally Related Permits

Information pertaining to environmental permits, recorded problems and well records (refer to Appendix I, 2 for letters) was requested in writing from the South Carolina Department of Health and Environmental Control (SCDHEC), Freedom of Information Coordinator EQC. As stated by SCDHEC letter, no files were located pertaining to the subject property.

3.3 Review of Well Records

Information pertaining to well records (refer to Appendix I, 2 for letters) was requested in writing from the South Carolina Department of Health and Environmental Control (SCDHEC), Freedom of Information Coordinator EQC. As stated in the SCDHEC letter, no files were located pertaining to wells on the subject tract. No wells are listed with SCDHEC.

3.4 Inquiry to Regulatory Agencies Concerning Potential Environmental Problems

Information from SCDHEC pertaining to the following has been requested:

- 1) Information pertaining to the removal or installation of above ground and underground storage tanks;
- 2) Issuance of any environmentally related permit and well record;
- 3) Issuance of any license (or complaints against) to store hazardous substances and/or petroleum products on the subject property or adjacent properties and any actions taken; and
- 4) Issuance of any license (or complaints) regarding waste disposal on the subject property or adjacent properties.

The SCDHEC Freedom of Information Division was contacted to provide information pertaining to past or present reporting of any environmentally related conditions (refer to letters in Appendix I, 2).

The limited SCDHEC records in possession of F&ME pertaining to sites listed as containing environmental problems (SCDHEC State C.E.R.C.L.A. Site Inventory, SCDHEC RCRA, SCDHEC RBCA, SCDHEC PCAS Facility List, L.U.S.T. List and the SCDHEC National/State Priority List Sites) have been reviewed. The specific records reviewed were those pertaining to facilities existing on and within the appropriate minimum search distance of the subject property as stipulated by ASTM E 1527-97 and ASTM E 1528-96. Particular attention was directed at sites or facilities as listed by address, name and/or described location in the SCDHEC records to determine their location within the noted one-half and one-mile radii to the subject property. These records search evidenced no facilities listed as containing environmental problems on the property. No warranty or guarantee, either stated or implied, is given concerning the completeness of these SCDHEC records.

The SCDHEC has reviewed their current records pertaining to the listing of potential environmental problems and existing wells (Appendix I, 2). As stated by letter, SCDHEC could not locate any files on the subject property. However, no warranty or guarantee, either stated or implied, is given concerning the completeness of the SCDHEC records or search.

E. INFORMATION FROM SITE RECONNAISSANCE AND INTERVIEWS

1. Hazardous Substances in Connection with Identified Uses

No hazardous substances in connection with identified uses were observed on the tract.

2. Hazardous Substance Containers and Unidentified Substance Containers

There were no hazardous substance containers and no unidentified substance containers observed on the property.

3. Storage Tanks

No storage tanks are recorded on the property. However, there is one underground storage tank (UST) for an emergency generator within the bounds for the subject tract.

3.1 Review of Storage Tanks Registration and Information

No underground storage tanks (UST's) or above ground storage tanks (AST's) are listed on the property. However, there is one UST for an emergency generator on-site.

A review of the past and current SCDHEC UST Management Tracking Confirmed Project Release Reports (LUST) indicates no evidence of leaking underground storage tanks on the subject property.

4. Indication of PCB's

No PCB containers were observed on the property.

5. Indication of Solid Waste Disposal

No solid waste disposal was observed on the property.

6. Physical Setting Analysis

The subject property is located within what appears to be a combination of commercial, rural and agricultural community. This physical setting is noted from the area inspection and relatively current aerial photographs. Additionally, the property is zoned C-3 in Richland County.

7. Conditions of Concern

There are no conditions of concern for the property.

8. Site Plan

Refer to Figures 3A and 3B, Appendix I, 1.

F. FINDINGS AND CONCLUSIONS

The objective of this Phase I Environmental Site Assessment was to determine the presence or the potential for the presence of recognized negative environmental conditions on the subject property and adjacent properties which would impact or contribute to future subject property liability.

To meet this objective, criteria as generally set forth by the South Carolina State Budget and Control Board Policy for Obtaining Studies for Land Acquisitions and ASTM E 1527-97 with respect to a visual inspection and reasonably ascertainable historical records review were utilized.

F&ME CONSULTANTS has performed this Phase I Environmental Site Assessment in general accordance with the scope and limitations of the above referenced guidelines for the South Carolina Department of Public Safety on the 50-acre tract, located in Richland County, South Carolina. The findings of this assessment have revealed no evidence of recognized undesirable environmentally related conditions on the subject property. Therefore, no Phase II Environmental Site Assessment is recommended at this time.

Further, if any sites of potential archaeological significance are located on the property, the South Carolina Institute of Archaeology and Anthropology, Columbia, S.C. [(803) 734-0567] is to be notified.

Additionally, if any rare and endangered species are encountered on the property, the South Carolina Department of Natural Resources Columbia, S.C. is to be advised to inspect the property and review their records [(803) 734-3917].

G. SIGNATURE OF ENVIRONMENTAL PROFESSIONAL

F&ME Consultants

Robert S. Powell
Robert S. Powell, P.G.
Chief Geologist
S.C. License #417



H. QUALIFICATIONS OF ENVIRONMENTAL PROFESSIONAL

ROBERT S. POWELL, P.G.

Chief Geologist
F&ME Consultants

PROJECT ASSIGNMENT: Environmental Projects and Site Evaluations

EDUCATION: Bachelor of Science, Geology
University of South Carolina, 1975

Graduate Studies in Stratigraphy
University of South Carolina, 1981

Associate Bachelor of Science, Civil Engineering
Midlands Technical College, 1967

REGISTRATION: Professional Geologist, South Carolina #417
Professional Geologist, Virginia #700
Registered Land Surveyor, South Carolina #5302
Certified Well Driller, South Carolina #371
Consultant/Management Planner, South Carolina #21753
Consultant/Project Designer, South Carolina #22639

RELATED PROJECT EXPERIENCE:

Mr. Powell is the manager for environmental and geological projects for F&ME. These management duties include stratigraphy, hydrogeology, seismicity studies, environmental assessments, mineral exploration, geotechnical investigations and asbestos related projects.

Mr. Powell has over thirty years of experience in civil, geology, geotechnical and environmental evaluations and design. Mr. Powell's recent focus has been in environmental studies and remediations. These have included pre-buy assessments, soil and groundwater contamination, and building materials such as asbestos and lead based paint.

As manager and lead environmentalist for F&ME, Mr. Powell has been responsible for conducting numerous pre-buy environmental assessments for private concerns, state and local governments. His work has included the largest single land purchase ever by the State of South Carolina. Mr. Powell has managed asbestos and lead based paint programs including identification, management plans, remediation plans and specifications and contract administration.

Mr. Powell has performed and managed over 100 Phase I Environmental Site Assessments for acquisition of properties and buildings for the S.C. Department of Natural Resources, S.C. Department of Transportation, S.C. Budget and Control Board (General Services), S.C. Department of Health and Environmental Control, S.C. Department of Youth Services, S.C. Department of Corrections, S.C. Forestry Commission, S.C. Nature Conservancy, commercial and industrial corporations, schools, universities and military bases.

Mr. Powell has performed asbestos containing building materials inspections, provided management plans, performance specifications and plans for asbestos abatement projects. These projects have included over 300 facilities military bases, commercial, industrial, educational entities and state agencies.

SELECTED PROJECT EXPERIENCE:

Consultant to U.S. Agency for International Development, South Sudan, Africa

Hydrological analysis of streams, rivers and flood plains, and roadway surface and subsurface investigations.

Consultant to Saudi Arabian Agency for Development, Gambia, Africa

Airfield Subgrade Investigation - Runway Rehabilitation

Lancaster, Beaufort and Aiken, and various Air Force Bases, South Carolina

Hydrogeological Analysis

Conducted Flood Analysis, Water Quantity and Water Velocity Studies, South Carolina

Performed Phase I and Phase II Environmental Site Assessments

Land Acquisitions throughout South Carolina

100 Acre Topographical Survey

Emphasis on road locations and alignment for Lexington County School District No. 3, Batesburg, South Carolina

45,000 Acre S.C. Sandhills Forest Phase I and II Environmental Site Assessments

Largest tract of land acquired by the State of South Carolina

Asbestos management planning of over 60 facilities for Richland County School District One, S.C.

Railroad and Road Alignments, Surveying, Grading and Drainage

Fort Jackson, South Carolina

Foundation Drilling and Soil Materials Evaluation

Numerous Schools, Housing Projects, Military and Industrial Complexes and Sites
Throughout the State of South Carolina, North Carolina, Sudan and Gambia, Africa

Installation of Groundwater Monitoring Wells

Reports of Chemical Pollutants

Numerous Industrial Plants, Lagoons, Service Stations, and Airport Fuel Storage Areas in
South Carolina

Site Development Plans and Specifications

Ballentine Section Shed

Edgefield Section Shed

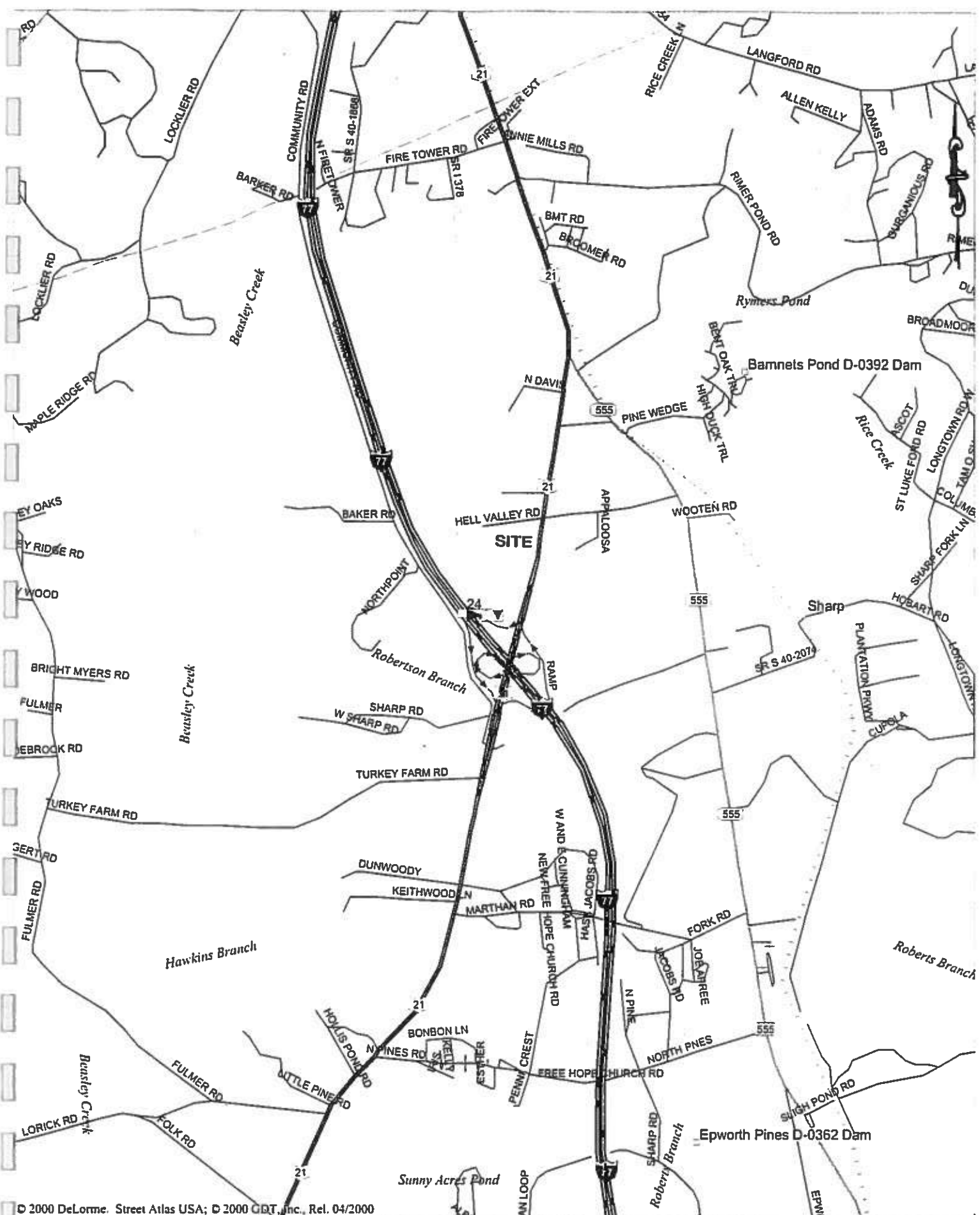
National Welders

Cogeneration Facilities

Landfill Sites

APPENDIX I

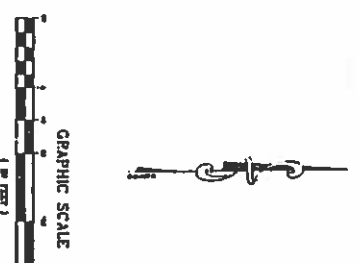
1. Maps and Photographs



© 2000 DeLorme. Street Atlas USA; © 2000 GDT, Inc., Rel. 04/2000

SITE LOCATION MAP SCALE: 1" = 2600' FIGURE 1

MATCH LINE (SEE SHT. 1 OF 2)



LEGEND	
○	Iron pipe road
○	Iron pipe (1/2" dia)
○	Iron pipe (3/4" dia)
○	Iron pipe (1" dia)
○	Iron pipe (1 1/2" dia)
○	Iron pipe (2" dia)
○	Iron pipe (3" dia)
○	Iron pipe (4" dia)
○	Iron pipe (6" dia)
○	Iron pipe (8" dia)
○	Iron pipe (10" dia)
○	Iron pipe (12" dia)
○	Iron pipe (15" dia)
○	Iron pipe (18" dia)
○	Iron pipe (21" dia)
○	Iron pipe (24" dia)
○	Iron pipe (30" dia)
○	Iron pipe (36" dia)
○	Iron pipe (42" dia)
○	Iron pipe (48" dia)
○	Iron pipe (54" dia)
○	Iron pipe (60" dia)
○	Iron pipe (66" dia)
○	Iron pipe (72" dia)
○	Iron pipe (78" dia)
○	Iron pipe (84" dia)
○	Iron pipe (90" dia)
○	Iron pipe (96" dia)
○	Iron pipe (102" dia)
○	Iron pipe (108" dia)
○	Iron pipe (114" dia)
○	Iron pipe (120" dia)
○	Iron pipe (126" dia)
○	Iron pipe (132" dia)
○	Iron pipe (138" dia)
○	Iron pipe (144" dia)
○	Iron pipe (150" dia)
○	Iron pipe (156" dia)
○	Iron pipe (162" dia)
○	Iron pipe (168" dia)
○	Iron pipe (174" dia)
○	Iron pipe (180" dia)
○	Iron pipe (186" dia)
○	Iron pipe (192" dia)
○	Iron pipe (198" dia)
○	Iron pipe (204" dia)
○	Iron pipe (210" dia)
○	Iron pipe (216" dia)
○	Iron pipe (222" dia)
○	Iron pipe (228" dia)
○	Iron pipe (234" dia)
○	Iron pipe (240" dia)
○	Iron pipe (246" dia)
○	Iron pipe (252" dia)
○	Iron pipe (258" dia)
○	Iron pipe (264" dia)
○	Iron pipe (270" dia)
○	Iron pipe (276" dia)
○	Iron pipe (282" dia)
○	Iron pipe (288" dia)
○	Iron pipe (294" dia)
○	Iron pipe (300" dia)
○	Iron pipe (306" dia)
○	Iron pipe (312" dia)
○	Iron pipe (318" dia)
○	Iron pipe (324" dia)
○	Iron pipe (330" dia)
○	Iron pipe (336" dia)
○	Iron pipe (342" dia)
○	Iron pipe (348" dia)
○	Iron pipe (354" dia)
○	Iron pipe (360" dia)
○	Iron pipe (366" dia)
○	Iron pipe (372" dia)
○	Iron pipe (378" dia)
○	Iron pipe (384" dia)
○	Iron pipe (390" dia)
○	Iron pipe (396" dia)
○	Iron pipe (402" dia)
○	Iron pipe (408" dia)
○	Iron pipe (414" dia)
○	Iron pipe (420" dia)
○	Iron pipe (426" dia)
○	Iron pipe (432" dia)
○	Iron pipe (438" dia)
○	Iron pipe (444" dia)
○	Iron pipe (450" dia)
○	Iron pipe (456" dia)
○	Iron pipe (462" dia)
○	Iron pipe (468" dia)
○	Iron pipe (474" dia)
○	Iron pipe (480" dia)
○	Iron pipe (486" dia)
○	Iron pipe (492" dia)
○	Iron pipe (498" dia)
○	Iron pipe (504" dia)
○	Iron pipe (510" dia)
○	Iron pipe (516" dia)
○	Iron pipe (522" dia)
○	Iron pipe (528" dia)
○	Iron pipe (534" dia)
○	Iron pipe (540" dia)
○	Iron pipe (546" dia)
○	Iron pipe (552" dia)
○	Iron pipe (558" dia)
○	Iron pipe (564" dia)
○	Iron pipe (570" dia)
○	Iron pipe (576" dia)
○	Iron pipe (582" dia)
○	Iron pipe (588" dia)
○	Iron pipe (594" dia)
○	Iron pipe (600" dia)
○	Iron pipe (606" dia)
○	Iron pipe (612" dia)
○	Iron pipe (618" dia)
○	Iron pipe (624" dia)
○	Iron pipe (630" dia)
○	Iron pipe (636" dia)
○	Iron pipe (642" dia)
○	Iron pipe (648" dia)
○	Iron pipe (654" dia)
○	Iron pipe (660" dia)
○	Iron pipe (666" dia)
○	Iron pipe (672" dia)
○	Iron pipe (678" dia)
○	Iron pipe (684" dia)
○	Iron pipe (690" dia)
○	Iron pipe (696" dia)
○	Iron pipe (702" dia)
○	Iron pipe (708" dia)
○	Iron pipe (714" dia)
○	Iron pipe (720" dia)
○	Iron pipe (726" dia)
○	Iron pipe (732" dia)
○	Iron pipe (738" dia)
○	Iron pipe (744" dia)
○	Iron pipe (750" dia)
○	Iron pipe (756" dia)
○	Iron pipe (762" dia)
○	Iron pipe (768" dia)
○	Iron pipe (774" dia)
○	Iron pipe (780" dia)
○	Iron pipe (786" dia)
○	Iron pipe (792" dia)
○	Iron pipe (798" dia)
○	Iron pipe (804" dia)
○	Iron pipe (810" dia)
○	Iron pipe (816" dia)
○	Iron pipe (822" dia)
○	Iron pipe (828" dia)
○	Iron pipe (834" dia)
○	Iron pipe (840" dia)
○	Iron pipe (846" dia)
○	Iron pipe (852" dia)
○	Iron pipe (858" dia)
○	Iron pipe (864" dia)
○	Iron pipe (870" dia)
○	Iron pipe (876" dia)
○	Iron pipe (882" dia)
○	Iron pipe (888" dia)
○	Iron pipe (894" dia)
○	Iron pipe (900" dia)
○	Iron pipe (906" dia)
○	Iron pipe (912" dia)
○	Iron pipe (918" dia)
○	Iron pipe (924" dia)
○	Iron pipe (930" dia)
○	Iron pipe (936" dia)
○	Iron pipe (942" dia)
○	Iron pipe (948" dia)
○	Iron pipe (954" dia)
○	Iron pipe (960" dia)
○	Iron pipe (966" dia)
○	Iron pipe (972" dia)
○	Iron pipe (978" dia)
○	Iron pipe (984" dia)
○	Iron pipe (990" dia)
○	Iron pipe (996" dia)
○	Iron pipe (1002" dia)
○	Iron pipe (1008" dia)
○	Iron pipe (1014" dia)
○	Iron pipe (1020" dia)
○	Iron pipe (1026" dia)
○	Iron pipe (1032" dia)
○	Iron pipe (1038" dia)
○	Iron pipe (1044" dia)
○	Iron pipe (1050" dia)
○	Iron pipe (1056" dia)
○	Iron pipe (1062" dia)
○	Iron pipe (1068" dia)
○	Iron pipe (1074" dia)
○	Iron pipe (1080" dia)
○	Iron pipe (1086" dia)
○	Iron pipe (1092" dia)
○	Iron pipe (1098" dia)
○	Iron pipe (1104" dia)
○	Iron pipe (1110" dia)
○	Iron pipe (1116" dia)
○	Iron pipe (1122" dia)
○	Iron pipe (1128" dia)
○	Iron pipe (1134" dia)
○	Iron pipe (1140" dia)
○	Iron pipe (1146" dia)
○	Iron pipe (1152" dia)
○	Iron pipe (1158" dia)
○	Iron pipe (1164" dia)
○	Iron pipe (1170" dia)
○	Iron pipe (1176" dia)
○	Iron pipe (1182" dia)
○	Iron pipe (1188" dia)
○	Iron pipe (1194" dia)
○	Iron pipe (1200" dia)

ADJOINING OWNERS:

1. 11000-01-15 11000 11000 01/15/15
2. 11000-01-15 11000 11000 01/15/15
3. 11000-01-15 11000 11000 01/15/15
4. 11000-01-15 11000 11000 01/15/15
5. 11000-01-15 11000 11000 01/15/15
6. 11000-01-15 11000 11000 01/15/15
7. 11000-01-15 11000 11000 01/15/15
8. 11000-01-15 11000 11000 01/15/15
9. 11000-01-15 11000 11000 01/15/15
10. 11000-01-15 11000 11000 01/15/15
11. 11000-01-15 11000 11000 01/15/15
12. 11000-01-15 11000 11000 01/15/15

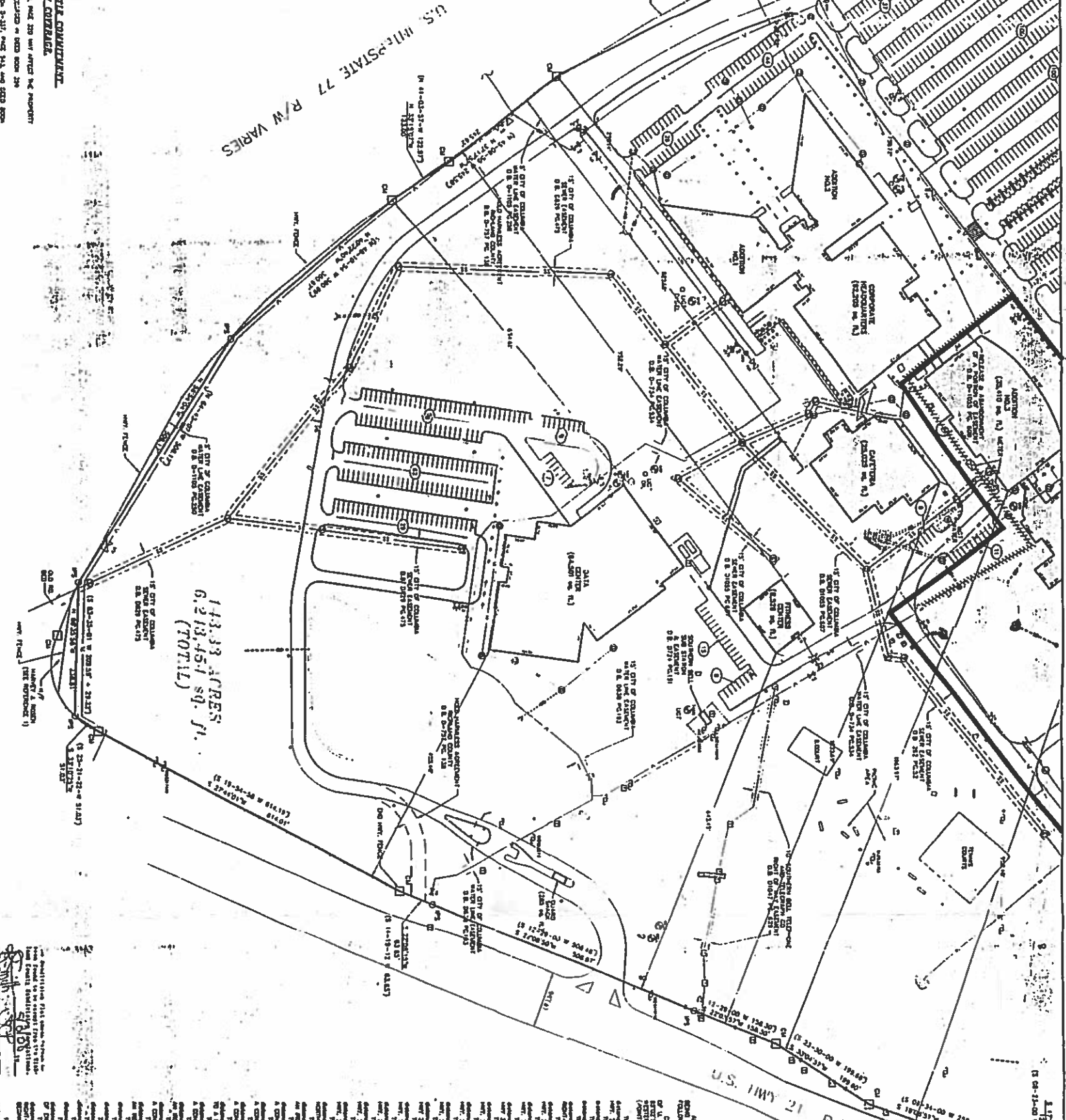
REFERENCES:

1. 11000-01-15 11000 11000 01/15/15
2. 11000-01-15 11000 11000 01/15/15
3. 11000-01-15 11000 11000 01/15/15
4. 11000-01-15 11000 11000 01/15/15
5. 11000-01-15 11000 11000 01/15/15
6. 11000-01-15 11000 11000 01/15/15
7. 11000-01-15 11000 11000 01/15/15
8. 11000-01-15 11000 11000 01/15/15
9. 11000-01-15 11000 11000 01/15/15
10. 11000-01-15 11000 11000 01/15/15
11. 11000-01-15 11000 11000 01/15/15
12. 11000-01-15 11000 11000 01/15/15

THE FOLLOWING ITEMS WERE REVIEWED WITHIN A REASONABLE PERIOD OF TIME:

1. 11000-01-15 11000 11000 01/15/15
2. 11000-01-15 11000 11000 01/15/15
3. 11000-01-15 11000 11000 01/15/15
4. 11000-01-15 11000 11000 01/15/15
5. 11000-01-15 11000 11000 01/15/15
6. 11000-01-15 11000 11000 01/15/15
7. 11000-01-15 11000 11000 01/15/15
8. 11000-01-15 11000 11000 01/15/15
9. 11000-01-15 11000 11000 01/15/15
10. 11000-01-15 11000 11000 01/15/15
11. 11000-01-15 11000 11000 01/15/15
12. 11000-01-15 11000 11000 01/15/15

STATE OF SOUTH CAROLINA
COUNTY OF RICHLAND
MAY 14, 2000



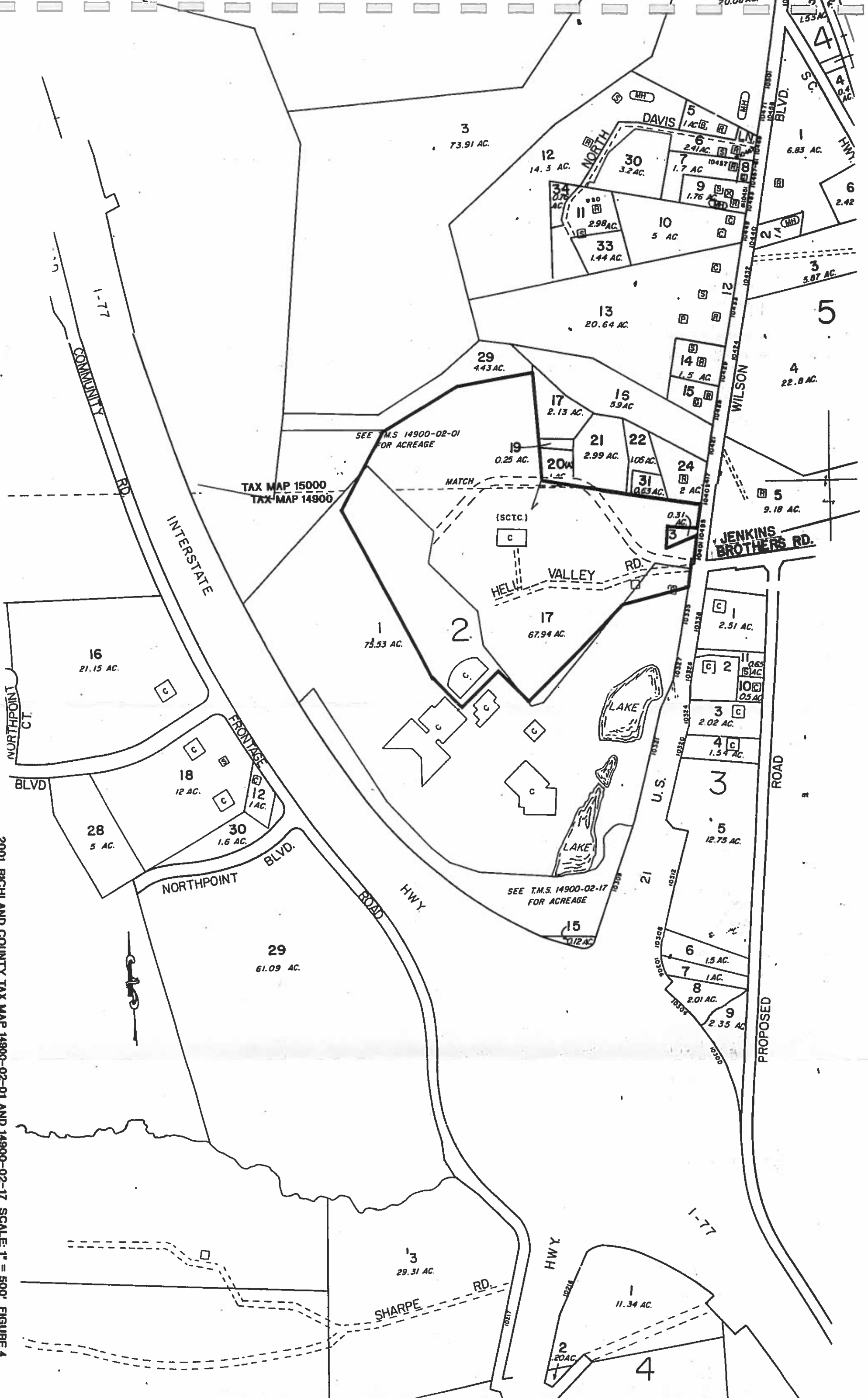
LEGAL DESCRIPTION:

1. 11000-01-15 11000 11000 01/15/15
2. 11000-01-15 11000 11000 01/15/15
3. 11000-01-15 11000 11000 01/15/15
4. 11000-01-15 11000 11000 01/15/15
5. 11000-01-15 11000 11000 01/15/15
6. 11000-01-15 11000 11000 01/15/15
7. 11000-01-15 11000 11000 01/15/15
8. 11000-01-15 11000 11000 01/15/15
9. 11000-01-15 11000 11000 01/15/15
10. 11000-01-15 11000 11000 01/15/15
11. 11000-01-15 11000 11000 01/15/15
12. 11000-01-15 11000 11000 01/15/15

STATE OF SOUTH CAROLINA
COUNTY OF RICHLAND
MAY 14, 2000

2000 SURVEY PLAT BOOK 406, PAGE 2764 FIGURE 3A

2001 RICHLAND COUNTY TAX MAP 14900-02-01 AND 14900-02-17 SCALE: 1" = 500' FIGURE 4

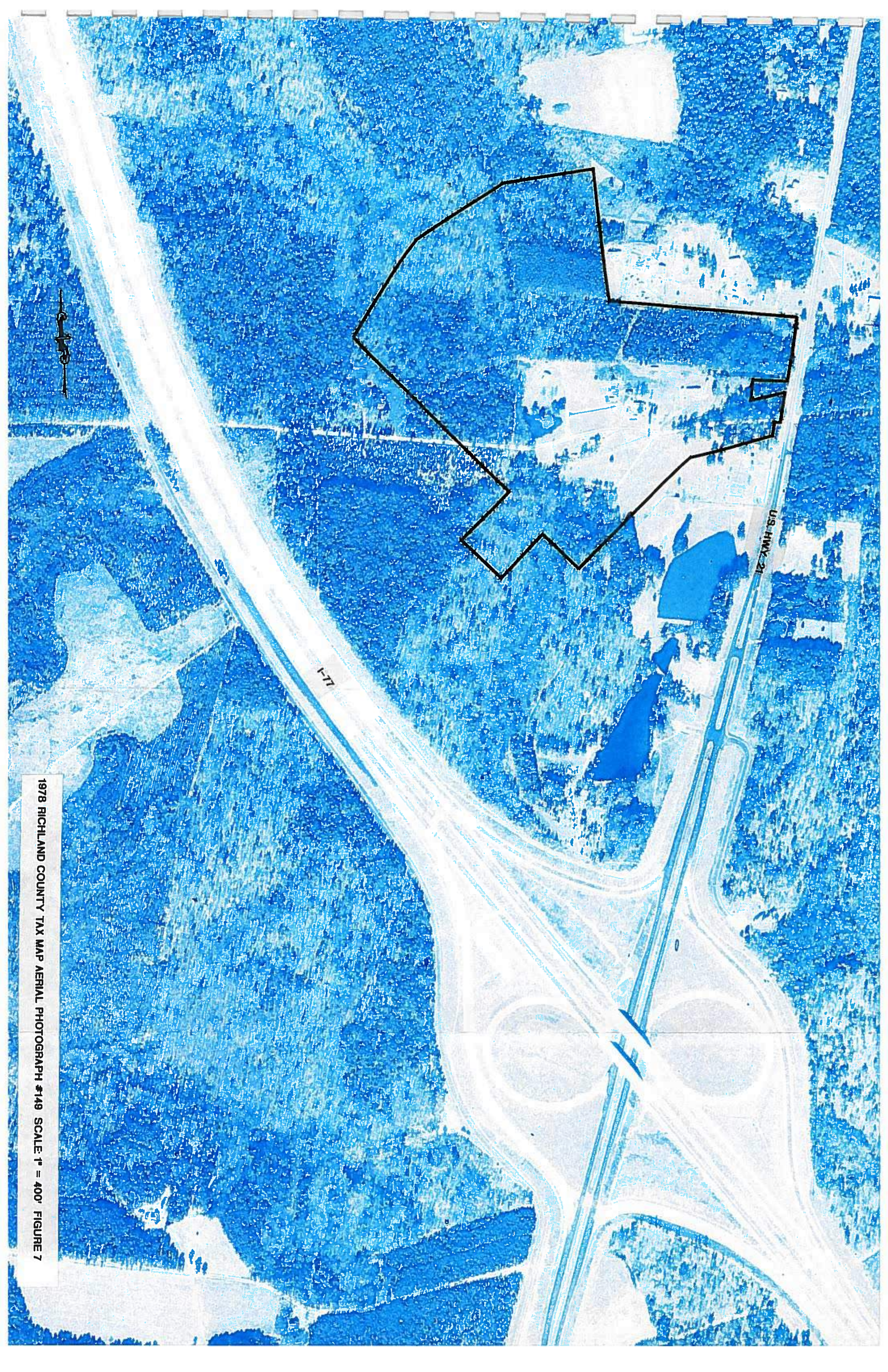




1999 INFRARED AERIAL PHOTOGRAPH SCALE: 1" = 833' FIGURE 5



1981 AERIAL PHOTOGRAPH SCALE: 1" = 863' FIGURE 6



U.S. HWY 21

I-77



1978 RICHLAND COUNTY TAX MAP AERIAL PHOTOGRAPH #149 SCALE: 1" = 400' FIGURE 7

ATA - 2 MM - 74



1970 AERIAL PHOTOGRAPH SCALE: 1" = 820' FIGURE 8



A-5AA-126

SIX MILE CREEK

JENKINS BROTHERS RD

1959 AERIAL PHOTOGRAPH SCALE: 1" = 820' FIGURE 9

KODAK AEROGRAPHIC SAFETY FILM 16A

5-15-51



1951 AERIAL PHOTOGRAPH SCALE: 1" = 820' FIGURE 10



1943 AERIAL PHOTOGRAPH SCALE: 1" = 820' FIGURE 11

APPENDIX I

2. Interview Documents

F&ME

CONSULTANTS

GEOTECHNICAL • ENVIRONMENTAL • MATERIALS

December 10, 2001

Mr. Jody M. Hamm
Freedom of Information Coordinator, EQC
SC Department of Health and Environmental Control
2600 Bull Street
Columbia, South Carolina 29201

Re: Request for Information pertaining to
any environmental problems, etc.
Buildings 3, 4 and Warehouse and Parking area
CSC Campus
10301 Wilson Boulevard
Blythewood, South Carolina

Dear Mr. Hamm:

This is a request for information pertaining to any environmental problems that may have been registered with you for the above referenced property.

Any information pertaining to environmental problems may consist of the following:

- 1) Information pertaining to the removal or installation of above ground and underground storage tanks;
- 2) Issuance of any environmentally related permit and well record;
- 3) Issuance of any license (or complaints against) to store hazardous substances and/or petroleum products on the subject property or adjacent properties and any actions taken; and
- 4) Issuance of any license (or complaints) regarding waste disposal on the subject property or adjacent properties.

The ownership is under the name of PMSC.

If you have any questions, please do not hesitate to contact us. We would appreciate your response as soon as convenient.

Sincerely yours,

F&ME CONSULTANTS


Robert S. Powell, P.G.
Chief Geologist

COLUMBIA OFFICE
P.O. BOX 5855
Columbia, SC 29250
3112 Devine Street
Columbia, SC 29205
ph (803) 254-4540
fx (803) 254-4542

MYRTLE BEACH OFFICE
517 9TH Avenue N.
Myrtle Beach, SC 29577
ph (843) 626-9253



600 Bull Street
Columbia, SC 29201-1708

MR. ROBERT POWELL
F&ME CONSULTANTS

12/10/2001

P.O. BOX 5855
COLUMBIA, SC 29250-

Request Number : 0112078

RE: CSC CAMPUS

DEAR MR. POWELL

Your request for the above referenced information has been received by the Freedom of Information Center. The Freedom of Information staff are currently researching and compiling this information. You will be notified by our office when the research process is complete and files are ready for your review or files are ready to be copied.

If we are unable to locate files on a facility, based on the information submitted, you will be notified by mail.

Any requested department reports, publications or materials, other than facility files, will be mailed to you when completed.

Further inquiries regarding your request should include your above mentioned Freedom of Information Request Number. We can be reached at (803) 898-3882.

Sincerely,

Jody M. Hamm, Coordinator
Freedom Of Information Center
Office of Commissioner

RECEIVED

DEC 12 2001



600 Bull Street
Columbia, SC 29201-1708

MR. ROBERT POWELL
F&ME CONSULTANTS

12/17/2001

P.O. BOX 5855
COLUMBIA, SC 29250-

Request Number : 0112078

RE: CSC CAMPUS

DEAR MR. POWELL

This is to advise you that the Freedom of Information Center could not locate any files on the referenced company name, individual and/or address as submitted.

If you feel that the information you requested may be found under another name or description, please submit the additional information by fax (803) 898-3816 referencing the above request number.

If you have any questions or require further assistance, please contact our office at (803) 898-3882.

Sincerely,
Jody M. Hamm

Jody M. Hamm, Coordinator
Freedom of Information Center
Office of Commissioner

APPENDIX I

3. ASTM E 1528 Transaction Screen Questionnaire

TRANSACTION SCREEN QUESTIONNAIRE ASTM E1528-96

PROJECT NAME: MYND CENTER TRACT
LOCATION: BLYTHEWOOD, SC
CLIENT: SC DEPARTMENT OF PUBLIC SAFETY

PROJECT: E3770
INSPECTION DATE: 02/28/02

Question	Owner			Occupants (if applicable)			Observed During Site Visit		
	Yes	No	Unk	Yes	No	Unk	Yes	No	Unk
1a. Is the <i>property</i> used for an industrial use?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
1b. Is any <i>adjoining property</i> used for an industrial use?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
2a. Did you observe evidence or do you have any prior knowledge that the <i>property</i> has been used for an industrial use in the past?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
2b. Did you observe evidence or do you have any prior knowledge that any <i>adjoining property</i> has been used for an industrial use in the past?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
3a. Is the <i>property</i> used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, photo developing laboratory, junkyard or landfill, or as a waste treatment, storage, disposal, processing, or recycling facility (if applicable, identify which)?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
3b. Is any <i>adjoining property</i> used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, photo developing laboratory, junkyard or landfill, or as a waste treatment, storage, disposal, processing, or recycling facility (if applicable, identify which)?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
4a. Did you observe evidence or do you have any prior knowledge that the <i>property has</i> been used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, photo developing laboratory, junkyard or landfill, or as a waste treatment, storage, disposal, processing, or recycling facility (if applicable, identify which)?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
4b. Did you observe evidence or do you have any prior knowledge that any <i>adjoining property has</i> been used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, photo developing laboratory, junkyard or landfill, or as a waste treatment, storage, disposal, processing, or recycling facility (if applicable, identify which)?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
5a. Are there currently any damaged or discarded automotive or industrial batteries, pesticides, paints, or other chemicals in individual containers of >5 gal (19 L) in volume or 50 gal (190 L) in the aggregate, stored on or used at the <i>property</i> or at the facility?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk

Question	Owner			Occupants (if applicable)			Observed During Site Visit		
	Yes	No	Unk	Yes	No	Unk	Yes	No	Unk
5b. Did you observe evidence or do you have any prior knowledge that there have been previously any damaged or discarded automotive or industrial batteries, pesticides, paints, or other chemicals in individual containers of >5 gal (19 L) in volume or 50 gal (190 L) in the aggregate, stored on or used at the property or at the facility?									
6a. Are there currently, any industrial drums (typically 55-gal (208 L)) or sacks of chemicals located on the property or at the facility?	Yes	No	Unk	Yes	No	Unk	<u>Yes</u>	No	Unk
		Warehouse area – non-toxic							
6b. Did you observe evidence or do you have any prior knowledge that there have been previously any industrial drums (typically 55-gal (208 L)) or sacks of chemicals located on the property or at the facility?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
7a. Did you observe evidence or do you have any prior knowledge that fill dirt has been brought onto the property that originated from a contaminated site?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
7b. Did you observe evidence or do you have any prior knowledge that fill dirt has been brought onto the property that is of an unknown origin?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
8a. Are there currently any pits, ponds, or lagoons located on the property in connection with waste treatment or waste disposal?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
8b. Did you observe evidence or do you have any prior knowledge that there have been previously, any pits, ponds, or lagoons located on the property in connection with waste treatment or waste disposal?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
9a. Is there currently any stained soil on the property.	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
9b. Did you observe evidence or do you have any prior knowledge that there has been previously, any stained soil on the property?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
10a. Are there currently any registered or unregistered storage tanks (above or underground) located on the property?	Yes	No	Unk	Yes	No	Unk	<u>Yes</u>	No	Unk
		Emergency generator UST							
10b. Did you observe evidence or do you have any prior knowledge that there have been previously, any registered or unregistered storage tanks (above or underground) located on the property?	Yes	No	Unk	Yes	No	Unk	<u>Yes</u>	No	Unk
		Emergency generator UST							
11a. Are there currently any vent pipes, fill pipes, or access ways indicating a fill pipe protruding from the ground on the property or adjacent to any structure located on the property?	Yes	No	Unk	Yes	No	Unk	<u>Yes</u>	No	Unk

Question	Owner		Occupants (if applicable)				Observed During Site Visit		
	Yes	No	Unk	Yes	No	Unk	Yes	No	Unk
11b. Did you observe evidence or do you have any prior knowledge that there have been previously, any vent pipes, fill pipes, or access ways indicating a fill pipe protruding from the ground on the <i>property</i> or adjacent to any structure located on the <i>property</i> ?	Yes	No	Unk	Yes	No	Unk	<u>Yes</u>	No	Unk
12a. Are there currently any flooring, drains, or walls located within the facility that are stained by substances other than water or are emitting foul odors?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
12b. Did you observe evidence or do you have any prior knowledge that there have been previously, any flooring, drains, or walls located within the facility that were stained by substances other than water or were emitting foul odors?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
13a. If the <i>property</i> is served by a private well or non-public water system, is there evidence or do you have prior knowledge that contaminants have been identified in the well or system that exceed guidelines applicable to the water system?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
13b. If the <i>property</i> is served by a private well or non-public water system, is there evidence or do you have prior knowledge that the well has been designated as contaminated by any government environmental/health agency?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
14. Does the <i>owner</i> or <i>occupant</i> of the <i>property</i> have any knowledge of <i>environmental liens</i> or governmental notification relating to past or recurrent violations of environmental laws with respect to the <i>property</i> or any facility located on the <i>property</i> ?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
15a. Has the <i>owner</i> or <i>occupant</i> of the <i>property</i> been informed of the past existence of <i>hazardous substances</i> or <i>petroleum products</i> with respect to the <i>property</i> or any facility located on the <i>property</i> ?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
15b. Has the <i>owner</i> or <i>occupant</i> of the <i>property</i> been informed of the current existence of <i>hazardous substances</i> or <i>petroleum products</i> with respect to the <i>property</i> or any facility located on the <i>property</i> ?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
15c. Has the <i>owner</i> or <i>occupant</i> of the <i>property</i> been informed of the past existence of environmental violations with respect to the <i>property</i> or any facility located on the <i>property</i> ?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk
15d. Has the <i>owner</i> or <i>occupant</i> of the <i>property</i> been informed of the current existence of environmental violations with respect to the <i>property</i> or any facility located on the <i>property</i> ?	Yes	No	Unk	Yes	No	Unk	Yes	<u>No</u>	Unk

Questions	Owner			Occupants (if applicable)			Observed During Site Visit		
	Yes	No	Unk	Yes	No	Unk	Yes	No	Unk
16. Does the <i>owner</i> or <i>occupant</i> of the <i>property</i> have any knowledge of any <i>environmental site assessment</i> of the <i>property</i> or facility that indicated the presence of <i>hazardous substances</i> or <i>petroleum products</i> on, or contamination of, the <i>property</i> or recommended further assessment of the <i>property</i> .	Yes	No	Unk	Yes	No	Unk	Yes	No	Unk
17. Does the <i>owner</i> or <i>occupant</i> of the <i>property</i> know of any past, threatened, or pending lawsuits or administrative proceedings concerning a release or threatened release of any <i>hazardous substance</i> or <i>petroleum products</i> involving the <i>property</i> by any owner or occupant of the <i>property</i> ?	Yes	No	Unk	Yes	No	Unk	Yes	No	Unk
18a. Does the <i>property</i> discharge waste water, on or adjacent to the <i>property</i> , other than storm water, into a storm water sewer system?	Yes	No	Unk	Yes	No	Unk	Yes	No	Unk
18b. Does the <i>property</i> discharge waste water, on or adjacent to the <i>property</i> , other than storm water, into a sanitary sewer system?	Yes	No	Unk	Yes	No	Unk	Yes	No	Unk
19. Did you observe evidence or do you have any prior knowledge that any <i>hazardous substances</i> or <i>petroleum products</i> , unidentified waste materials, tires, automotive or industrial batteries, or any other waste materials have been dumped above grade, buried and/or burned on the <i>property</i> ?	Yes	No	Unk	Yes	No	Unk	Yes	No	Unk
20. Is there a transformer, capacitor, or any hydraulic equipment for which there are any records indicating the presence of PCBs?	Yes	No	Unk	Yes	No	Unk	Yes	No	Unk

**Government Records/Historical Sources Inquiry
(See guide, Section 10)**

21. Do any of the following Federal government record systems list the property or any property within the circumference of the area noted below:

National Priorities List-within 1.0 mile (1.6 Km)?	Yes	No
CERCLIS List-within 0.5 mile (0.8 Km)?	Yes	No
RCRA CORRACTS Facilities - within 1.0 mile (1.6Km)?	Yes	No
RCRA non-CORRACTS TSD Facilities-within 0.5 mile (1.8 Km)?	Yes	No

22. Do any of the following state record systems list the property or any property within the circumference of the area noted below:

List maintained by state environmental agency of hazardous waste sites identified for investigation or remediation that is the state agency equivalent to NPL-within approximately 1.0-mile (1.6-Km)?	Yes	No
List maintained by state environmental agency of sites identified for investigation or remediation that is the state equivalent to CERCLIS-within 0.5 mile (0.8 Km)?	Yes	No
Leaking Underground Storage Tank (LUST) List-within 0.5 mile (0.8 Km)?	Yes	No
Solid Waste/Landfill Facilities-within 0.5 mile (0.8 Km)?	Yes	No

23. Based upon a review of *fire insurance maps* or consultation with the local fire department serving the *property*, all as specified in the guide, are any buildings or other improvements on the *property* or on an *adjoining property* identified as having been used for an industrial use or use likely to lead to contamination of the *property*?

Yes No N/A

The preparer of the transaction screen questionnaire must complete and sign the following statement. (For definition of "preparer" and "user", see 5.3 or 3.3.25.)

This questionnaire was completed by:

Name Robert S. Powell, P.G.
 Title Chief Geologist
 Firm F&ME Consultants
 Address PO Box 5855
 Columbia, South Carolina 29250
 Phone Number (803) 254-4540
 Date 02/28/02

If the preparer is different than the user, complete the following:

Name of User South Carolina Department of Public Safety

User's Address 5410 Broad River Road

Columbia, South Carolina 29210-4026

User's Phone Number (803) 896-7793

Preparer's relationship to site Consultant

Preparer's relationship to user (for example, principal, employee, agent, consultant)

Copies of the completed questionnaire have been filed at:

F&ME Consultants

3112 Devine Street

Columbia, South Carolina 29205

Copies of the completed questionnaire have been mailed or delivered to:

South Carolina Department of Public Safety

5410 Broad River Road

Columbia, South Carolina 29210-4026

(803) 896-7793

Preparer represents that to the best of the preparer's knowledge the above statements and facts are true and correct and to the best of the preparer's actual knowledge no material facts have been suppressed or misstated.

Signature

Robert S Powell

Date

2/28/02

Signature

Date

8.1.2 Guide:

8.1.2.1 It is recommended that the preparer describe the use of the property and adjoining properties.

8.1.2.2 Certain industrial uses on the property may raise concerns regarding the possibility of contamination affecting the property. For purposes of the transaction screen questionnaire, an industrial use is an activity requiring the application of labor and capital for the production or distribution of a product or article, including, without limitation, manufacturing, processing, extraction, refining, warehousing, transportation, and utilities. Manufacturing is defined as a process or operation of producing by hand, machinery, or other means a finished product or article from raw material. Industrial uses may be categorized as light or heavy industrial uses, depending upon the scale of the operations and the impact upon surrounding property in terms of smoke, fumes, and noise. Regardless of such categorization, the concern for purposes of the transaction screen process is whether the use involves the processing, storage, manufacture, or transportation of hazardous substances or petroleum products. For example, further inquiry would be necessary if the industrial use concerned the manufacture of paints, oils, solvents, and other chemical products but not if the use concerned the storage of inert goods in containers.

8.1.2.3 The term adjoining properties means any real property or properties the border of which is contiguous or partially contiguous with that of the property, or that would be contiguous or partially contiguous with that of the property but for a street, road or other public thoroughfare separating them. Adjoining properties means the property and include properties across the street or any right of way from the property.

APPENDIX I

4. Deeds

STATE OF SOUTH CAROLINA)
)
COUNTY OF RICHLAND)

TITLE TO REAL ESTATE

KNOW ALL MEN BY THESE PRESENTS, That MYND Corporation (formerly known as Policy Management Systems Corporation), hereinafter referred to as Grantor, in the State aforesaid, for and in consideration of the sum of Five Dollars (\$5.00) to us paid by and in consideration of becoming the sole member of Century Realty LLC, a South Carolina limited liability company, hereinafter referred to as Grantee, in the State aforesaid (the receipt of which is hereby acknowledged) has granted, bargained, sold and released, and by these presents does grant, bargain, sell and release unto the said Grantee, Century Realty LLC, a South Carolina limited liability company:

All that certain piece, parcel, or lot of land, with improvements thereon, situate, lying and being in the County of Richland, State of South Carolina, near the City of Columbia, located at the intersection of U.S. Interstate 77 and U.S. Highway 21, as shown on that certain ALTA/ACSM Land Title Survey prepared for Policy Management Systems Corporation by Leon Campbell & Associates, dated April 26, 2000, last revised May 02, 2000, and recorded in the office of the Richland County ROD in Book 00406, Pages 2764 and 2765. Reference to said plat is craved for a fuller description, with all measurements being a little more or less.

Derivation: Deeds recorded in the office of the Richland County Register of Deeds at the following books and pages: D-588/335, D-592/656, D-592/653, D-651/816, D-592/650, D-592/647, D-785/305, D-785/308, D-820/722, D-820/729, D-884/406, D-879/432, D-591/957.

This conveyance is subject to all easements, restrictions, and matters of record, including those shown on recorded plats and those which an inspection of the property would disclose.

TMS Nos.: 14900-02-01 and 14900-02-17

Grantee's address: 10301 Wilson Boulevard
Blythewood, South Carolina 29016

Book 00512-0326 Deed
201032743 05/01/2001 11 08 50 03
Fee: \$10.00 County Tax: \$0.00 State Tax: \$0.00



Richland County ROD

Audited By Harry Huntley

DB R512 @ 326

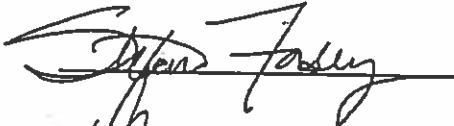

TOGETHER with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

TO HAVE AND TO HOLD all and singular the premises before mentioned unto the said Grantee, its Successors and Assigns forever.


And the Grantor does hereby bind itself, and its Successors and Assigns, to warrant and forever defend all and singular the said premises unto the said Grantee, its Successors and Assigns, against Grantor and Grantor's Successors and Assigns lawfully claiming or to claim the same or any part thereof.

WITNESS our Hand and Seal this 30th day of April in the year of our Lord two thousand and one and in the two hundred and twenty-fourth year of the sovereignty and independence of the United States of America.

Signed, Sealed and Delivered
in the Presence of

MYND Corporation, formerly known as
Policy Management Systems Corporation


By: Hayward D. Fisk
Its: Executive Vice President &
Secretary

Richland County ROD

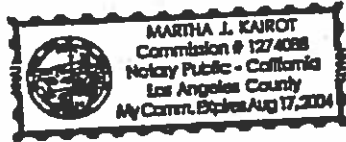
Audited By Harry Huntley

STATE OF CALIFORNIA)
)
COUNTY OF LOS ANGELES)

ACKNOWLEDGMENT

I, Martha Kairot, Notary Public for the State of California, do hereby certify that the above-named MYND Corporation, by and through Hayward D. Fisk, its Executive Vice President and Secretary, personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal this the 30th day of April, 2001.



Martha J. Kairot
Notary Public
My Commission Expires: August 17, 2004

"Doc# 5186259.01"

Richland County ROD

Audited By Harry Hunckley

STATE OF SOUTH CAROLINA)

COUNTY OF RICHLAND)

AFFIDAVIT

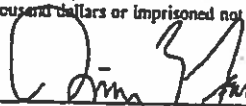
PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

1. I have read the information on this affidavit and I understand such information.
2. The property being transferred is located at 10301 Wilson Boulevard, bearing Richland County Tax Map Numbers 14900-01-01 and 14900-02-17, was transferred by MYND Corporation, formerly Policy Management Systems Corporation to Century Realty LLC on April 30, 2001.
3. Check one of the following: The deed is
 - (a) ___ subject to the deed recording fee as transfer for consideration paid or to be paid in money or money's worth
 - (b) ___ subject to the deed recording fee as a transfer between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as a distribution to a trust beneficiary.
 - (c) XX exempt from the deed recording fee because (See Information): § _____ (If exempt, skip items 4-7 and go to item 8.)
4. Check one of the following if either item 3(a) or item 3(b) above has been checked (See Information):
 - (a) ___ The fee is computed on the consideration paid or to be paid in money or money's worth.
 - (b) ___ The fee is computed on the fair market value of the realty which is _____
 - (c) ___ The fee is computed on the fair market value of the realty as established for property tax purposes which is _____
5. Check Yes ___ or No ___ to the following: A lien or encumbrance existed on the land, tenement, or realty before the transfer and remained on the land, tenement, or realty after the transfer. If "Yes," the amount of the outstanding balance of this lien or encumbrance is: _____
6. The deed recording fee is computed as follows:


(a) Place the amount listed in item 4 above here:	\$ _____
(b) Place the amount listed in item 5 above here: (If no amount is listed, place zero here.)	\$ _____
(c) Subtract Line 6(b) from Line 6(a):	\$ _____
7. The deed recording fee due is based on the amount listed on Line 6(c) above and the deed recording fee due is: _____
8. As required by Code Section 12-24-70, I state that I am a responsible person who was connected with the transaction as Transferor's Attorney.
9. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than one thousand dollars or imprisoned not more than one year, or both.

Richland County ROD

Audited By Harry Huntley



 Simpson Z. Fank Esquire

SWORN to before me this 1st
 day of May 2001

 Notary Public for SC
 My commission expires: 2/17/08

INFORMATION

Except as provided in this paragraph, the term "value" means "the consideration paid or to be paid in money or money's worth for the realty." Consideration paid or to be paid in money's worth includes, but is not limited to, other realty, personal property, stocks, bonds, partnership interest and other intangible property, the forgiveness or cancellation of a debt, the assumption of a debt, and the surrendering of any right. The fair market value of the consideration must be used in calculating the consideration paid in money's worth. Taxpayers may elect to use the fair market value of the realty being transferred in determining fair market value of the consideration. In the case of realty transferred between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, and in the case of realty transferred to a trust or as a distribution to a trust beneficiary, "value" means the realty's fair market value. A deduction from value is allowed for the amount of any lien or encumbrance existing on the land, tenement, or realty before the transfer and remaining on the land, tenement, or realty after the transfer. Taxpayers may elect to use the fair market value for property tax purposes in determining fair market value under the provisions of the law.

Exempted from the fee are deeds:

1. transferring realty in which the value of the realty, as defined in Code Section 12-24-30, is equal to or less than one hundred dollars;
2. transferring realty to the federal government or to a state, its agencies and departments, and its political subdivisions, including school districts;
3. that are otherwise exempted under the laws and Constitution of this State or of the United States;
4. transferring realty in which no gain or loss is recognized by reason of Section 1041 of the Internal Revenue Code as defined in Section 12-6-40(A);
5. transferring realty in order to partition realty as long as no consideration is paid for the transfer other than the interest in the realty that are being exchanged in order to partition the realty;
6. transferring an individual grave space at a cemetery owned by a cemetery company licensed under Chapter 55 of Title 39;
7. that constitute a contract for the sale of timber to be cut;
8. transferring realty to a corporation, partnership, or a trust in order to become, or as, a stockholder, partner or trust beneficiary of the entity provided no consideration is paid for the transfer other than stock in the corporation, interest in the partnership, beneficiary interest in the trust, or the increase in value in such stock or interest held by the grantor. However, the transfer of realty from a corporation, a partnership, or a trust to a stockholder, partner, or trust beneficiary of the entity is subject to the fee even if the realty is transferred to another corporation, a partnership, or trust;
9. transferring realty from a family partnership to a partner or from a family trust to a beneficiary, provided no consideration is paid for the transfer other than a reduction in the grantee's interest in the partnership or trust. A "family trust" is a trust, in which the beneficiaries are all members of the same family. The beneficiaries of a family trust may also include charitable entities. "Family" means the grantor and the grantor's spouse, parents, grandparents, sisters, brothers, children, stepchildren, and the spouses and lineal descendants of any the above. A "charitable entity" means an entity which may receive deductible contributions under Section 170 of the Internal Revenue Code as defined in Section 12-6-40(A).
10. transferring realty in a statutory merger or consolidation from a constituent corporation to the continuing or new corporation;
11. transferring realty in a merger or consolidation from a constituent partnership to the continuing or new partnership; and,
12. that constitute a corrective deed or a quitclaim deed used to confirm title already vested in the grantee, provided that no consideration of any kind is paid or is to be paid under the corrective or quitclaim deed.

Richland County ROD

Audited By Harry Huntley

330

The State of South Carolina

COUNTY OF RICHLAND



KNOW ALL MEN BY THESE PRESENTS, That Seibels, Bruce & Company, a South Carolina corporation

in the State aforesaid, for and in consideration of the sum of Ten and no/100 (510.00) Dollars and other valuable consideration to it in hand paid at and before the sealing of these presents, by Policy Management Systems Corporation, a South Carolina corporation in the State aforesaid, (the receipt whereof is hereby acknowledged) have granted, bargained, sold and released, and by these Presents do grant, bargain, sell and release, unto the said

POLICY MANAGEMENT SYSTEM, CORPORATION, A SOUTH CAROLINA CORPORATION, ITS SUCCESSORS AND ASSIGNS:

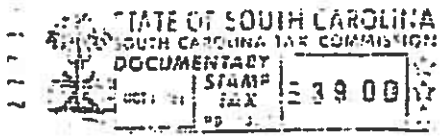
All that certain parcel of land, a portion of Westvaco Corporation's Lottie B. Derieux Tract #2, located near the community of Blythewood, in Richland County, South Carolina, containing 1.50 acres, and described as follows:

Beginning at a right-of-way monument on the eastern edge of the I-77 (Interstate Seventy-seven) right-of-way and the southern edge of Hell Valley Road N89°50'09"W 283.55 feet to an iron pipe and a cement monument on the northern side of Hell Valley Road; thence S04°14'36"W 449.16 feet to an iron pipe; thence S05°54'35"W 28.88 feet to a right-of-way monument on the eastern edge of the I-77 (Interstate Seventy-seven) right-of-way; thence running with the eastern edge of said right-of-way N27°27'55"W 536.29 feet (chord distance) to the point of beginning.

This being the same property heretofore conveyed to the grantor herein by Westvaco Corporation by its deed dated May 26, 1981 and recorded in the Richland County R.M.C. Office in Deed Book D-592 at Page 283.

Mailing address of Grantee: Post Office Box 2545 Columbia, SC 29202

Attention: Robert Gresham



TOGETHER with all and singular the Rights, Members, Hereditaments and Appurtenances to the said Premises belonging, or in anywise incident or appertaining

TO HAVE AND TO HOLD, all and singular the said premises before mentioned unto the said Policy Management Systems Corporation, a South Carolina corporation, its successors and Assigns forever

And the said Seibels, Bruce & Company, a South Carolina corporation does hereby bind itself and its successors, to warrant and forever defend all and singular the said premises unto the said Policy Management Systems Corporation, a South Carolina corporation, its successors and Assigns, against itself and its successors and all persons whatsoever lawfully claiming or to claim the same, or any part thereof.

IN WITNESS WHEREOF Seibels, Bruce & Company, a South Carolina corporation has caused these presents to be executed in its name by its President and by its Secretary and its corporate seal to be hereto affixed this 15 day of September in the year of our Lord one thousand nine hundred and eighty-one, and in the two hundred and sixth year of the Sovereignty and Independence of the United States of America.

Signed, Sealed and Delivered in Presence of
[Signature]
Witness
[Signature]

SEIBELS, BRUCE & COMPANY, a South Carolina corporation (Seal)
By [Signature] Ex. Vice President
[Signature] Sec. or Treas.

10.589-337

The State of South Carolina,

County of RICHLAND

PERSONALLY appeared before me H. Bronson Smith

(Insert name of Witness)

who, on oath, says that he saw the within named Seibels, Bruce & Company, a South Carolina

(Insert name of Corporation)

corporation

by Roy L. Faulks

(Insert name of President or Vice-President)

its vice

President sign the within Deed, and J. Smith Harrison

(Insert Sec. or Treas.)

its

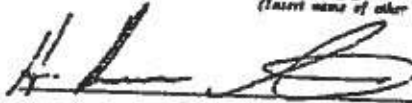
Secretary

attest the same, and the said Corporation, by said officers, seal

said Deed, and, as its act and deed, deliver the same, and that he with Robah Heggie

(Insert name of other Witness)

witnessed the execution thereof.




(Witness)

SWORN to before me, this 29th

day of September

A. D. 1981

 (Seal)

Notary Public, S. C.

My Commission Expires: 11-5-85

10.589-337

SPECIAL WARRANTY DEED



607

STATE OF SOUTH CAROLINA
COUNTY OF RICHLAND

AFFIDAVIT

JUL 22 4 15 PM '81
REGISTRY OF DEEDS
CLARK GARRITY

KNOW ALL MEN BY THESE PRESENTS, that WESTVACO CORPORATION (Formerly West Virginia Pulp and Paper Company), a corporation created by, and existing under the laws of the State of Delaware, and duly authorized to do business in the State of South Carolina, in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, to it in hand paid at and before the sealing of these Presents by SEIBELS BRUCE & COMPANY, the receipt of which is hereby acknowledged, and subject to the exceptions hereafter set forth, HATH GRANTED, Bargained, Sold and Released, and by these Presents DOETH GRANT, Bargain, Sell and Release, unto the said SEIBELS BRUCE & COMPANY its successors and assigns forever, the premises hereafter described (the "Premises"):

All that certain parcel of land, a portion of Westvaco Corporation's Lottie B. Derieux Tract #2, located near the community of Blythwood, in Richland County, South Carolina, containing 1.59 acres, and described as follows:

Beginning at a right-of-way monument on the eastern edge of the I-77 (Interstate Seventy-seven) right-of-way and the southern edge of Hell Valley Road N89-50-09E 283.55 feet to an iron pipe and a cement monument on the northern side of Hell Valley Road; thence S04-14-36W 449.16 feet to an iron pipe; thence S05-54-15W 28.88 feet to a right-of-way monument on the eastern edge of the I-77 (Interstate Seventy-seven) right-of-way; thence running with the eastern edge of said right-of-way; N27-27-55W 536.29 feet (chord distance) to the point of beginning.

This parcel, with other properties, was conveyed to West Virginia Pulp & Paper Company, now Westvaco Corporation, by the Heirs of Lottie B. Derieux, dead dated March 18, 1951, and recorded in Deed Book 72, Page 563 in the Clerk of Court's office for Richland County on May 1, 1951.

All of which is more particularly described on a plat by Ralph O. Vanadore, R.L.S., surveyed for Seibels Bruce and Company on April 7, 1981, which is attached and made a part hereof.

RICHLAND COUNTY, SOUTH CAROLINA
RECORDING OFFICE
JUL 22 4 15 PM '81
STAMP 33300

TOGETHER with all and singular the rights, members, hereditaments and appurtenances to the Premises belonging, or in anywise thereto incident or appertaining.

TO HAVE AND TO HOLD, all and singular the Premises before mentioned unto the said SEIBELS BRUCE & COMPANY, its successors and assigns forever, subject to the following:

(a) to any matters of record and to state of facts which an accurate survey or physical inspection of the Premises would show

(b) to any and all assessments which on or after the date of this deed may be assessed, levied, imposed or confirmed against or become a lien upon the Premises or any part thereof and to any and all assessments which prior to such date have been assessed, levied, imposed or confirmed against the Premises or have become a lien upon the Premises but which as of such date are not due and payable.

And said WESTVACO CORPORATION doth hereby bind itself and its successors, to warrant and forever defend, all and singular the Premises unto the said SEIBELS BRUCE & COMPANY against itself and its successors lawfully claiming the same or any part thereof.

IN WITNESS WHEREOF, WESTVACO CORPORATION has caused these Presents to be executed in its name by E. Ann Andrews as Vice President, and by John W. Hetherington, Secretary, and its corporate seal to be hereby affixed on of the 27th day of May in the year of our Lord One Thousand Nine Hundred and Eighty-one in the Two Hundred and Fifty Year of the Independence of the United States of America.

Signed, Sealed and Delivered in the Presence of

[Signature]

Wanda Parilla

WESTVACO CORPORATION

[Signature]
Vice President

ATTEST
[Signature]
Secretary

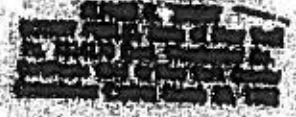
STATE OF NEW YORK
COUNTY OF NEW YORK

Personally appeared before me, Carol C. Knight who, on oath, says that (s)he saw the within named Mustvaco Corporation by E. Lee Andrews as Vice President sign the within Deed, and John W. Hatherington as Secretary, attest and seal the Deed, and the said corporation, by said officers, and as its act and deed, cause delivery of the Deed and that (s)he with Wanda Pastila witnessed the execution thereof.

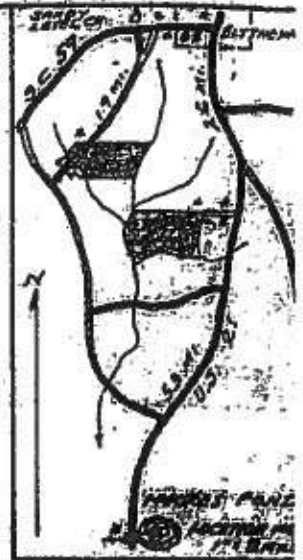
Carol C. Knight

Sworn to before me this 26th
day of May, 1981.

Carol C. Knight
Notary Public



D 582 286



Thomas D. Black

NO. 1
237 Acres

Thomas D. Black

Mrs Maggie B. Black

Mrs Maggie B. Black

NO. 2
337 Acres

WATER

A PLAN SHOWING THE BOUNDARIES OF THE LANDS OF THOMAS D. BLACK AND MRS. MAGGIE B. BLACK

PREPARED BY THE SURVEYOR GENERAL OF THE STATE OF MISSISSIPPI

MISSISSIPPI

SCALE: 1 inch = 100'

FD 592 PAGE 653

THE STATE OF SOUTH CAROLINA,
COUNTY OF RICHLAND.

To All Whom These Presents May Come: Know that



MARAL BARTIS

WHEREAS:

SEND GREETING:

NOW, KNOW ALL MEN BY THESE PRESENTS, That the said

Richland County Council

in consideration of the premises and also in consideration of the sum of \$1.00 dollars

to it in hand paid at and before the sealing and delivery of these presents by

Policy Management Systems Corporation

(the receipt whereof is hereby acknowledged) have remised, released and forever quit-claimed, and by these presents

do remise, release and forever quit-claim unto the said

**POLICY MANAGEMENT SYSTEMS CORPORATION
ITS SUCCESSORS AND ASSIGNS:**

All that piece, parcel or strip of land on the west of the centerline of original Route 21 now being in the north quadrant of the interchange of Route 21 and I-77. Said property being bounded on the north by property now or formerly of Reese and Nancy F. Johnson, bounded on the east by the right of way of relocated Route 21 which is the centerline of original Route 21, on the south by I-77 access ramp, and on the west by lands of Alan B. Kahn. The property herein quit-claimed is shown on Sheet #82 of plans for File 42,774 of the South Carolina Department of Highways and Public Transportation and is a portion of the right of way of Route 21 when it was created and under Project #156 dated February 20, 1922.

Grantor's Address: 1321 Lady Street, Columbia, SC 29201

FD 592 PAGE 653

10 592 FILE 654

TOGETHER with all and singular the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining:

TO HAVE AND TO HOLD all and singular the said premises before mentioned unto the said Policy Management Systems Corporation, its

successors heirs and assigns, forever—so that neither the said

Richland County Council successors nor heirs, nor any other person or persons, claiming under it or them, shall at any time hereafter, by any way or means, have, claim or demand any right or title to the aforesaid premises or appurtenances, or any part or parcel thereof, forever.

Witness my hand and seal this 4th day of November in the year of our Lord one thousand nine hundred and eighty-one and in the two hundred and sixth year of the Sovereignty and Independence of the United States of America.

Signed, Sealed and Delivered in the presence of

Jimmy C. Bales (L.S.)
Jimmy C. Bales, Chairman
Richland County Council
ATTEST: *Bessie Clark* (L.S.)
Clerk of Council

Tom Eades
James Lewis Mann

THE STATE OF SOUTH CAROLINA,
COUNTY OF RICHLAND.

To All Whom These Presents May Come: Nov 6 4 1981

CLARA L. BARTLEY



WHEREAS: The Richland County Council finds that the ~~SUNDERSTINE~~ unpaved road traversing the property more fully described herein is no longer of benefit to the public and being desirous of being relieved of any responsibility pertaining to ownership, and whereas, Richland County Council has duly authorized the transfer of County's right, title, and interest to Policy Management Systems Corporation,

NOW, KNOW ALL MEN BY THESE PRESENTS, That the said Richland County Council

in consideration of the premises and also in consideration of the sum of \$1.00 dollars

to it in hand paid at and before the sealing and delivery of these presents by

Policy Management Systems Corporation

(the receipt whereof is hereby acknowledged) have remised, released and forever quit-claimed, and by these presents do remise, release and forever quit-claim unto the said

POLICY MANAGEMENT SYSTEMS CORPORATION,
ITS SUCCESSORS AND ASSIGNS:

All that certain piece, parcel or lot of land being shown as an unimproved 20 foot County Road (no definite right-of-way) lying between the eastern boundary of the right-of-way of Interstate Highway 77 and the western boundary of Lot 17, Block 1, Tax Map Page 489, said road traversing Lot 23 and Lot 24, Block 1, Tax Map Page 489, and traversing property now or formerly of V. E. Barnett lying to the North of Lot 24, Block 1, Tax Map Page 489, all of said road being shown on plat prepared for Seibels, Bruce and Company dated April 10, 1981, by Leon Campbell and Associates, Inc. recorded in the Richland County S.C. Office in Plat Book 7, page 1401.

GRANTEE'S ADDRESS: 1321 LADY STREET, COLUMBIA, S.C. 29201

TOGETHER with all and singular the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining:

TO HAVE AND TO HOLD all and singular the said premises before mentioned unto the said Policy Management Systems Corporation, its successors

heirs and assigns, forever—so that neither the said

Richland County Council

nor its successors, nor any other person or persons, claiming under it or them, shall at any time hereafter, by any way or means, have, claim or demand any right or title to the aforesaid premises or appurtenances, or any part or parcel thereof, forever.

Witness my hand and seal this 29th day of October in the year of our Lord one thousand nine hundred and eighty-one and in the 112th hundred and sixth year of the Sovereignty and Independence of the United States of America.

Signed, Sealed and Delivered in the presence of

Jimmy C. Bales (L.S.)
Jimmy C. Bales, Chairman
Richland County Council

ATTEST: Dorinda Ward (L.S.)
Clerk of Council

Matthew Y. Jones
Jim T. Pugh

594.60
327.90

LD 592 650

THE STATE OF SOUTH CAROLINA
COUNTY OF RICHLAND

THE STATE OF SOUTH CAROLINA,
COUNTY OF RICHLAND.

Nov 6 4 25 PM '81

RECORDS OF
MORTGAGES AND ENCUMBRANCES
RICHLAND COUNTY, S.C.
CLARA L. BARTLETT



KNOW ALL MEN BY THESE PRESENTS, THAT

I, E. Raymond McElveen, Sr.

AFFIDAVIT

In the State aforesaid for and in consideration of the sum of
Ten and No/100ths (\$10.00) Dollars and other valuable consideration
to me in hand paid as and before the sealing and delivery of these Presents, by
Policy Management Systems Corporation

in the State aforesaid (the receipt whereof is hereby acknowledged),
have granted, bargained, sold and released, and by these Presents do grant, bargain, sell and release unto the said

**POLICY MANAGEMENT SYSTEMS CORPORATION,
ITS SUCCESSORS AND ASSIGNS:**

All that certain piece, parcel or tract of land, situate, lying and being on the Eastern side of Interstate Highway 77, approximately 12 miles North of the City of Columbia, County of Richland, State of South Carolina, known as Lot 23, Block 1 on Tax Map No. 489, containing 59.6 acres, more or less, as shown and delineated on a plat prepared for Seibels, Bruce & Company by Leon Campbell & Associates, Inc. dated April 10, 1981, and recorded in the Office of the Clerk of Court for Richland County in Plat Book 2, at Page 1404, and according to said plat, having the following metes and bounds, to wit: Beginning at the southernmost point of this property at a point on the Eastern boundary of the right-of-way of Interstate Highway 77 and running along the arc of a circle, the chord of which runs North 48° 10' 54" West for a distance of 380.69 feet to a right-of-way monument; then turning and running North 41° 03' 57" West for a distance of 122.97 feet to a right-of-way monument; then turning and running North 45° 06' 50" West for a distance of 245.58 feet to a right-of-way monument; then turning and running along the arc of a circle, the chord of which runs North 93° 47' 05" West for a distance of 1,131.66 feet to a right-of-way monument; then turning and running North 05° 54' 35" East for a distance of 26.88 feet to an iron; then turning and running North 94° 14' 36" East for a distance of 449.16 feet to an iron; then turning and running North 03° 32' 26" East for a distance of 1,034.71 feet to an iron; then turning and running North 88° 31' 28" East for a distance of 550.61 feet to an iron; then turning and running North 55° 59' 23" East for a distance of 463.99 feet to an iron; then turning and running South 08° 38' 51" East for a distance of 956.90 feet to an iron; then turning and running South 09° 07' 06" East for a distance of 207.96 feet to an iron; then turning and running South 09° 23' 11" East for a distance of 229.49 feet to an iron; then turning and running South 09° 39' 21" East for a distance of 10.03 feet to an iron; then turning and running South 08° 47' 13" East for a distance of 152.10 feet to an iron; then turning and running South

SOUTH CAROLINA
RICHLAND COUNTY
DOCUMENTARY TAX
327.90

STATE OF SOUTH CAROLINA
RICHLAND COUNTY
DOCUMENTARY TAX COMMISSION
596.00

LD 592 650

FD 592 PAGE 651

09° 02' 23" East for a distance of 129.19 feet to an iron; then turning and running South 21° 48' 36" West for a distance of 1,029.42 feet to a point; then turning and running South 22° 29' 42" East for a distance of 621.50 feet to an iron; then turning and running South 21° 01' 51" East for a distance of 51.22 feet to the point of beginning, be all measurements a little more or less.

This being the same property heretofore conveyed to the grantor herein by deed recorded in the Richland County R.H.C. Office in Deed Book D-554, page 337.

Grantee's mailing address: 1321 Lady Street, Columbia, SC 29201

TOGETHER with all and singular the Rights, Members, Hereditaments and Appurtenances to the said Premises belonging, or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all and singular, the said premises before mentioned, unto the said

Policy Management Systems Corporation,

its successors and assigns forever.

And I do hereby bind myself and my Heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said Policy Management Systems Corporation,

its successors and assigns against myself and my Heirs and against all persons whomsoever lawfully claiming, or to claim the same or any part thereof.

WITNESS my Hand and Seal, this 29th day of October in the year of our Lord one thousand nine hundred and eighty-one and in the two hundred and sixth year of the Sovereignty and Independence of the United States of America.

Signed, Sealed and Delivered in the Presence of

Clair D. Howard
Clair D. Howard

G. Raymond McElveen, Sr.
G. Raymond McElveen, Sr.

(L. S.)

(L. S.)

FD 592 PAGE 651

ED 592 PAGE 652

THE STATE OF SOUTH CAROLINA,
RICHLAND COUNTY }

PERSONALLY appeared before me, VIVIAN T. WARREN
and made oath that she saw the within-named G. Raymond McElveen, Sr.
sign, seal, and as his act and deed deliver the
within-written Deed; and that she with
witnessed the execution thereof.

SWORN to before me, this 29th
day of October, A. D. 1981

Vivian T. Warren (Seal)

Gloria L. Howard (Seal)
Notary Public of S. C.

My commission expires: 4/22/85

THE STATE OF SOUTH CAROLINA,
RICHLAND COUNTY }

RENUNCIATION OF DOWER

I, Gloria L. Howard, Notary Public of South Carolina do hereby certify
unto all whom it may concern, that Mrs. Susan P. McElveen
wife of the within-named G. Raymond McElveen, Sr. did this day
appear before me, and upon being privately and separately examined by me, did declare that she does freely, voluntarily,
and without any compulsion, dread, or fear of any person or persons whomsoever renounce, release and forever relinquish
unto the within-named Policy Management Systems Corporation,
its successors and assigns, all her interest and estate, and also all her right and claim of Dower, of, in, or to all and
singular the premises within mentioned and released.

Given under my Hand and Seal, this 29th day of October

Anno Domini 1981

Susan P. McElveen (Seal)
SUSAN P. MCELVEEN

Gloria L. Howard (Seal)
Notary Public of S. C.

My commission expires: 4/22/85

ED 592 PAGE 652

0 554mc 337

State of South Carolina,
COUNTY OF [unclear]

Oct 3 1980



NOTES OF
[unclear]
LAPAL BARTLEY

Know All Men By These Presents,

That We, Stanley R. Fish and

[unclear]

STATE OF SOUTH CAROLINA
SOUTH CAROLINA DEPARTMENT OF REVENUE
DOCUMENTARY TAX STAMP
\$200.00

SOUTH CAROLINA COUNTY DOCS
[unclear]

of Five (5) Dollars and other valuable consideration

to [unclear]

with this deed

to have and to hold unto the said [unclear]

with force of law

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

to have

Best copy

STATE OF SOUTH CAROLINA,
RICHLAND County

Personally appeared before me ARLINE J. BRACKBRIDGE
and made oath that she is the within named Sturley R. Fish and Charles V. Jeffcoat
sign, seal and in their own and joint and several names, deliver the within written Deed for the uses and purposes therein
mentioned, and that she, with Paul J. Kumbor witnessed the

SWORN to before me this 3rd

[Signature]

1980

[Signature]

STATE OF SOUTH CAROLINA,
RICHLAND County

I, Paul J. Kumbor, Notary Public of South Carolina
do hereby certify that Arline J. Brackbridge
is the wife of the within named Sturley R. Fish
and that she appeared before me, and upon being properly and legally examined by me, she
freely, voluntarily and without any compulsion, fraud or force of any person or persons, acknowledged
and delivered to me the within named Sturley R. Fish and Charles V. Jeffcoat

[Signature]
Notary Public of S.C.
My Commission Expires: 10-1-81

D 554 PAGE 340

STATE OF SOUTH CAROLINA

RENUNCIATION OF DOWER

BERKLEY COUNTY

I, _____, do hereby certify unto

_____ the within named

_____ and

ELEMENTIS, SCOTT & KAMB
P.O. Box 11415
COLUMBIA, S.C. 29211

D 554 PAGE 340

180.00
199.00

D 553 PAGE 542

TITLE TO REAL ESTATE - FORM 14-B
COLUMBIA OFFICE SUPPLY CO., COLUMBIA, S.C.

State of South Carolina,
COUNTY OF RICHLAND

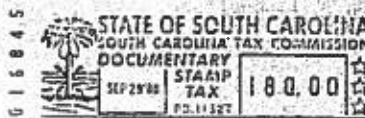
SEP 23 1 14 PM '80

REGISTRY OF
MORTGAGES
RICHLAND COUNTY, S.C.
LARA L. BARTLETT



Know All Men By These Presents,
Carolina General Partnership

That FREEPORT ASSOCIATES, a South



AFFIDAVIT

In the State aforesaid
sum of Five (\$5.00) Dollars and other valuable consideration
to it sold by Stanley R. Fish and Charles V. Jeffcoat

In consideration of the

In the State aforesaid,
acknowledged, have granted, bargained, sold and released, by these presents do grant, bargain, sell and release
into the said

the receipt whereof is hereby

STANLEY R. FISH AND CHARLES V. JEFFCOAT

Albeit certain piece, parcel or tract of land, together with any improvements thereon, situate, lying and being near Blytheood, in Richland County, South Carolina, containing 59.66 Acres, more or less, and being more fully shown and delineated on the plat prepared for Marshland Associates by Douglas S. Platt, S.W., R.L.S., dated in R.O. 1974, revised April 22, 1976, and recorded in the RMC Office of Richland County in Plat Book X, page 5565, said property having the following courses, metes, measurements and boundaries as shown on the professional plat, to

BEGINNING at an iron at the northeasternmost corner of the subject property, whereon the same corners with property now or formerly of Edward G. Palmer and property now or formerly of Linda Sue Creech; thence from said point of beginning along property now or formerly of Linda Sue Creech and property now or formerly of Wilburn Entzinger S 1° 30' E for 951.2 feet to an iron; thence along property now or formerly of William and Joyce Marsh S 9° 45' E for 233.0 feet to an iron; thence along property now or formerly of Curtis Marsh S 59° 15' E for 205.2 feet to an iron; thence along property now or formerly of Albert Marsh S 8° 48' E for 291.2 feet to an iron; thence running and running along property now or formerly of L. D. Halcivanger S 20° 22' W for 1030.8 feet to an iron; thence turning

D 553 PAGE 542

and running along said property S 22° 34' E for 625.0 feet to an iron; thence continuing along said property S 22° 43' E for 55.5 feet to a point located on the northern boundary of the right of way for Interstate I-77; thence turning and running along the northern boundary of the right of way for Interstate I-77 as follows: N 54° 53' W for 46.7 feet to a point; thence N 53° 03' W for 47.4 feet to a point; thence N 51° 57' W for 44.6 feet to a point; thence N 49° 16' W for 46.4 feet to a point; thence N 46° 30' W for 97.8 feet to a point; thence N 44° 47' W for 93.8 feet to a point; thence N 41° 12' W for 146.7 feet to a point; thence N 45° 12' W for 245.8 feet to a point; thence N 37° 49' W for 102.4 feet to a point; thence N 37° 19' W for 94.5 feet to a point; thence N 36° 09' W for 99.7 feet to a point; thence N 35° 42' W for 97.2 feet to a point; thence N 34° 40' W for 97.8 feet to a point; thence N 34° 03' W for 98.3 feet to a point; thence N 33° 11' W for 95.7 feet to a point; thence N 32° 44' W for 97.5 feet to a point; thence N 31° 48' W for 99.9 feet to a point; thence N 30° 58' W for 255.0 feet to an iron; thence from said iron located on the northern boundary of the said right of way for Interstate I-77 along property now or formerly of Westvaco N 15° 31' E for 27.05 feet to an iron; thence turning and continuing along said property now or formerly of Westvaco N 4° 11' E for 449.3 feet to an iron; thence turning and running along property now or formerly of V. E. Barnett N 03° 35' E for 1034.8 feet to an iron; thence turning and running along property now or formerly of Edward G. Palmer N 09° 15' E for 551.0 feet to an iron; thence turning and continuing along said property N 56° 15' E for 464.0 feet to an iron, this being the point of BEGINNING.

This conveyance is made subject to all existing conditions, easements and restrictions.

This being the same property conveyed to the Grantor herein by Deed of Sambo's of South Carolina, Inc., dated October 20, 1976, and recorded in the RMC Office for Richland County in Deed Book D-403 at page 227.

GRANTEE'S ADDRESS: 4412 Briarwood
Columbia, S.C. 29204

Together with all and singular, the rights, members, hereditaments and appurtenances to the said premises then long or in anywise incident or appertaining.

To Have and to Hold all and singular the premises before mentioned unto the said Stanley R. Fish and Charles V. Jeffcoat, their

Heirs and Assigns forever
And it does ~~do~~ hereby bind itself and its successors and assigns ~~to~~ warrant and forever defend all and singular the said premises unto the said Stanley R. Fish and Charles V. Jeffcoat, their

Heirs and Assigns, against it and its successors and assigns ~~to~~ lawfully claiming, or to claim, the same or any part thereof.

the execution hereof
WITNESS / ~~at~~ 29th day of September
in the year of our Lord one thousand nine hundred and eighty
and is the two hundred and fifth
and Independence of the United States of America.

Signed, sealed and Delivered
in the presence of
[Signature]
As to Gayle U. Averyt

FREEPORT ASSOCIATES, Inc. a South Carolina
General Partnership
BY: *[Signature]* (SEAL)
U. Arlen Cotter (Partner)
BY: *[Signature]* (SEAL)
Gayle U. Averyt (Partner)

TITLE TO REAL ESTATE FORM 150
FD-302 (REV. 1-25-76)

CANCELLED

State of South Carolina,
COUNTY OF RICHLAND }

Nov 9 10 27 AM '76

AFFIDAVIT

Know All Men By These Presents,

That SAMBO'S OF SOUTH CAROLINA
INC.

in the State aforesaid for and in consideration of the
sum of Five (\$5.00) Dollars and the exchange of property, and the mortgage assumption
as hereinafter referred to
to it paid by FREEPORT ASSOCIATES, a South Carolina general partnership
in the State aforesaid, the receipt whereof is hereby
acknowledged, have granted, bargained, sold and released, by these presents do grant, bargain, sell and release
unto the said FREEPORT ASSOCIATES

All that certain piece, parcel or tract of land, together with any improvements thereon,
situate, lying and being near Blythewood, in Richland County, South Carolina, contain-
ing 59.68 acres, more or less, and being more fully shown and delineated on the plat
prepared for Marshland Associates by Douglas E. Platt, Sr., RLS, dated July 10,
1974, and recorded in the RMC Office for Richland County in Plat Book 2, page
556, said property having the following courses, metes, measurements and bound-
aries as shown on the aforesaid plat, to wit:

BEGINNING at at the northeasternmost corner of the subject property, whereon
the same corners with property now or formerly of Edward G. Palmer and property
now or formerly of Linda Sue Creech; thence from said point of beginning along prop-
erty now or formerly of Linda Sue Creech and property now or formerly of Wilburn
Entzminger S 8° 30' E for 951.2 feet to an iron; thence along property now or formerly
of William and Joyce Marsh S 9° 45' E for 233.0 feet to an iron; thence along property
now or formerly of Curtis Marsh S 9° 15' E for 205.2 feet to an iron; thence along
property now or formerly of Albert Marsh S 8° 48' E for 291.2 feet to an iron; thence
turning and running along property now or formerly of L. D. Haltiwanger S 20° 22' W
for 1030.8 feet to an iron; thence turning and running along said property S 22° 34' E
for 625.0 feet to an iron; thence continuing along said property S 22° 43' E for 55.5
feet to a point located on the northern boundary of the right of way for Interstate I-77;
thence turning and running along the northern boundary of the right of way for Inter-
state I-77 as follows: N 54° 53' W for 46.7 feet to a point; thence N 53° 03' W for 47.4

feet to a point; thence N 51° 57' W for 44.6 feet to a point; thence N 49° 16' W for 46.4 feet to a point; thence N 46° 30' W for 97.3 feet to a point; thence N 44° 47' W for 93.8 feet to a point; thence N 41° 12' W for 146.7 feet to a point; thence N 45° 12' W for 245.3 feet to a point; thence N 37° 49' W for 102.4 feet to a point; thence N 37° 19' W for 84.5 feet to a point; thence N 36° 09' W for 99.7 feet to a point; thence N 35° 42' W for 97.2 feet to a point; thence N 34° 40' W for 97.8 feet to a point; thence N 34° 03' W for 90.3 feet to a point; thence N 33° 11' W for 95.7 feet to a point; thence N 32° 44' W for 97.5 feet to a point; thence N 31° 48' W for 99.9 feet to a point; thence N 30° 58' W for 255.0 feet to an iron; thence from said iron located on the northern boundary of the said right of way for Interstate I-77 along property now or formerly of Westvaco N 15° 31' E for 27.05 feet to an iron; thence turning and continuing along said property now or formerly of Westvaco N 4° 11' E for 449.3 feet to an iron; thence turning and running along property now or formerly of V. E. Barnett N 03° 35' E for 1034.8 feet to an iron; thence turning and running along property now or formerly of Edward G. Palmer N 89° 15' E for 551.0 feet to an iron; thence turning and continuing along said property N 56° 15' E for 464.0 feet to an iron, this being the point of BEGINNING.

This being the same property heretofore conveyed to the grantor herein by deed of Carole Associates, dated 19 OCT 76, and recorded in the RMC Office for Richland County on 9 NOV 76 in Deed Book D-403 at page 224.

As part of the consideration, the Grantee expressly assumes \$44,565.90 of the principal balance, plus interest which shall hereafter accrue on the aforesaid sum, under that certain note and real estate mortgage given by Marshland Associates to the Citizens and Southern National Bank of South Carolina dated July 2, 1973, said mortgage being recorded in the RMC Office for Richland County in Mortgage Book M-318 at page 285.

This conveyance is made subject to easements, restrictions, covenants and conditions existing against the aforesaid property, and the Grantee accepts said property in an "as is" condition.

GRANTEE'S ADDRESS: c/o Cotter & Co., 900 Elmwood Avenue, Columbia, S. C.

Together with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

To Have and to Hold all and singular the premises before mentioned unto the said Freeport Associates, its successors

and Assigns forever

And it does do hereby bind itself and its successors and assigns, to warrant and forever defend all and singular the said premises unto the said Freeport Associates, its successors

and Assigns, against it and its successors and assigns lawfully claiming, or to claim, the same or any part thereof. the execution hereof

WITNESS / this 20th day of October in the year of our Lord one thousand nine hundred and seventy-six and in the two hundred and first (201st) year of the Sovereignty and Independence of the United States of America.

Signed, Sealed and Delivered in the presence of

(2) Kara Bush
(3) Judith C. Petringis

SAMCO'S OF SOUTH CAROLINA, INC.

By: Bruce N. Anticount (SEAL) Secretary
Helene Sullivan (SEAL) Assistant Secretary

317.00
174.35

D 403 PAGE 224

TITLE TO REAL ESTATE - FORM 14-B
SOUTH CAROLINA OFFICE SUPPLY CO. COLUMBIA, S.C.

State of South Carolina,
COUNTY OF RICHLAND

CANCELLED

Nov 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30

AFFIDAVIT

Know All Men By These Presents, That
CARODALE ASSOCIATES, a South Carolina General Partnership

RICHLAND COUNTY

066197
SOUTH CAROLINA COUNTY DOCUMENTARY TAX
★ NOV-9-76 174.35

STATE OF SOUTH CAROLINA
SOUTH CAROLINA TAX COMMISSION
DOCUMENTARY TAX STAMP
317.00

In the State aforesaid for and in consideration of the
sum of Five (\$5.00) Dollars and other valuable consideration, and the mortgage assumption hereinafter referred to to it paid by SAMBO'S OF SOUTH CAROLINA, INC.
In the State aforesaid, the receipt whereof is hereby acknowledged, have granted, bargained, sold and released, by these presents do grant, bargain, sell and release unto the said SAMBO'S OF SOUTH CAROLINA, INC.:

All that certain piece, parcel or tract of land, together with any improvements thereon, situate, lying and being near Blythewood, in Richland County, South Carolina, containing 59.68 acres, more or less, and being more fully shown and delineated on the plat prepared for Marshland Associates by Douglas E. Platt, Sr., RLS, dated July 10, 1974, and recorded in the RMC Office for Richland County in Plat Book X, page 536 said property having the following courses, metes, measurements and boundaries as shown on the aforesaid plat, to wit:

BEGINNING at an iron at the northeasternmost corner of the subject property, whereon the same occurs with property now or formerly of Edward G. Palmer and property now or formerly of Linda Sue Creech, thence from said point of beginning along property now or formerly of Linda Sue Creech and property now or formerly of Wilburn Entzminger S 8° 30' E for 951.2 feet to an iron; thence along property now or formerly of William and Joyce Marsh S 9° 45' E for 233.0 feet to an iron; thence along property now or formerly of Curtis Marsh S 9° 15' E for 205.2 feet to an iron; thence along property now or formerly of Albert Marsh S 8° 48' E for 291.2 feet to an iron; thence turning and running along property now or formerly of L. D. Haltiwanger S 20° 22' W for 1030.8 feet to an iron; thence turning and running along said property S 22° 34' E for 625.0 feet to an iron; thence continuing along said property S 22° 43' E for 55.5 feet to a point located on the northern boundary of the right of way for Interstate I-77; thence turning and running along the northern boundary of the right of way for Interstate I-77 as follows: N 54° 53' W for 46.7 feet to a point; thence N 53° 03' W for 47.4 feet to a point; thence N 51° 57' W for 44.6 feet to a point; thence N 49° 15' W for 46.4 feet to a point; thence

D-403 PAGE 224

D 403 page 225

-66° 30' W for 97.8 feet to a point; thence N 44° 47' W for 93.8 feet to a point; thence N 41° 12' W for 146.7 feet to a point; thence N 45° 12' W for 245.3 feet to a point; thence N 37° 49' W for 102.4 feet to a point; thence N 37° 19' W for 94.5 feet to a point; thence N 36° 09' W for 89.7 feet to a point; thence N 35° 42' W for 97.2 feet to a point; thence N 34° 40' W for 97.8 feet to a point; thence N 34° 03' W for 98.3 feet to a point; thence N 33° 11' W for 95.7 feet to a point; thence N 32° 44' W for 97.5 feet to a point; thence N 31° 48' W for 99.9 feet to a point; thence N 30° 58' W for 255.0 feet to an iron; thence from said iron located on the northern boundary of the said right of way for Interstate I-77 along property now or formerly of Westvaco N 15° 31' E for 27.05 feet to an iron; thence turning and continuing along said property now or formerly of Westvaco N 4° 11' E for 449.3 feet to an iron; thence turning and running along property now or formerly of V. E. Barnett N 03° 35' E for 1034.8 feet to an iron; thence turning and running along property now or formerly of Edward G. Palmer N 80° 15' E for 551.0 feet to an iron; thence turning and continuing along said property N 56° 15' E for 464.0 feet to an iron, this being the point of beginning.

This being the same property heretofore conveyed to the Grantor herein by Deed of Marshland Associates dated 36 Dec 75, and recorded in the office of the RMC for Richland County on 31 Dec 75 in Deed Book D-367 at page 532.

As part of the consideration, the Grantee expressly assumes \$44,565.90 of the principal balance, plus interest which shall hereafter accrue on the aforesaid sum, under that certain note and real estate mortgage given by Marshland Associates to the Citizens and Southern National Bank of South Carolina dated July 2, 1973, said mortgage being recorded in the RMC Office for Richland County in Mortgage Book M-318 at page 285.

This conveyance is made subject to easements, restrictions, covenants and conditions existing against the aforesaid property, and the Grantee accepts said property in an "as is" condition.

GRANTEE'S ADDRESS: c/o Cotter & Company, 900 Elmwood Avenue, Columbia, S. C.

Together with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

To Have and to Hold all and singular the premises before mentioned unto the said

Sambo's of South Carolina, Inc.,

its successors
Heirs and Assigns forever

And it does do hereby bind itself and its successors and assigns ~~Heirs and Assigns~~
~~Heirs and Assigns~~, to warrant and forever defend all and singular the said premises unto the said

Sambo's of South Carolina, Inc.,

its successors
Heirs and Assigns, against it and its successors and assigns ~~Heirs and Assigns~~

~~Heirs and Assigns~~ lawfully claiming, or to claim, the same or any part thereof.

the execution hereof
WITNESS / ~~Heirs and Assigns~~ this 19th day of October

in the year of our Lord one thousand nine hundred and 1976
and in the ~~two hundred~~ two hundredth year of the Sovereignty
and Independence of the United States of America.

Signed, Sealed and Delivered
in the presence of
[Signature]
[Signature]

CARODALE ASSOCIATES, (a South Carolina
General Partnership)
BY *[Signature]* (SEAL)
(partner)
BY *[Signature]* (SEAL)
(partner)

State of South Carolina,
COUNTY OF RICHLAND

FILED

DEC 31 4 13 PM '75

REGISTER OF
MESSRS. JAMES
RICHLAND COUNTY, S.C.
CLAUDE BARTLETT

CANCELLED

Know All Men By These Presents, That

MARSHLAND ASSOCIATES, a South Carolina General Partnership

in the State aforesaid for and in consideration of the
sum of Five (\$5.00) Dollars and the partial distribution of partnership assets, and the
mortgage assumption as hereinafter referred to
to it paid by CARODALE ASSOCIATES, a South Carolina General Partnership

in the State aforesaid, the receipt whereof is hereby
acknowledged, have granted, bargained, sold and released, by these presents do grant, bargain, sell and release
unto the said CARODALE ASSOCIATES

All that certain piece, parcel or tract of land, together with any improvements there-
on, situate, lying and being near Blythewood, in Richland County, South Carolina, con-
taining 59.68 acres, more or less, and being more fully shown and delineated on the
plat prepared for Marshland Associates by Douglas E. Platt, Sr., RLS, dated July 10,
1974, and recorded in the RMC Office for Richland County in Plat Book X, page
141, said property having the following courses, metes, measurements and boundaries
as shown on the aforesaid plat, to wit:

BEGINNING at an iron at the northeasternmost corner of the subject property, where-
on the same corners with property now or formerly of Edward G. Palmer and property
now or formerly of Linda Sue Cresch; thence from said point of beginning along property
now or formerly of Linda Sue Cresch and property now or formerly of Wilburn Entz-
minger S 80° 30' E for 200.0 feet to an iron; thence along property now or formerly of
William and Joyce Marsh S 30° 45' E for 233.0 feet to an iron; thence along property now
or formerly of Curtis Marsh S 90° 15' E for 205.2 feet to an iron; thence along property
now or formerly of Albert Marsh S 80° 48' E for 291.2 feet to an iron; thence turning and
running along property now or formerly of L. D. Haltiwanger S 20° 22' W for 1030.8 feet
to an iron; thence turning and running along said property S 22° 34' E for 625.0 feet to an
iron; thence continuing along said property S 22° 43' E for 55.5 feet to a point located on
the northern boundary of the right of way for Interstate I-77; thence turning and running
along the northern boundary of the right of way for Interstate I-77 as follows: N 54° 53'
W for 46.7 feet to a point; thence N 53° 03' W for 47.4 feet to a point; thence N 51° 57'
W for 44.6 feet to a point; thence N 49° 16' W for 46.4 feet to a point; thence N 46° 30'
W for 97.8 feet to a point; thence N 44° 47' W for 93.8 feet to a point; thence N 41° 12' W

for 146.7 feet to a point; thence N 45° 12' W for 245.8 feet to a point; thence N 37° 49' W for 102.4 feet to a point; thence N 37° 19' W for 94.5 feet to a point; thence N 36° 09' W for 99.7 feet to a point; thence N 35° 42' W for 97.2 feet to a point; thence N 34° 40' W for 97.8 feet to a point; thence N 34° 03' W for 98.3 feet to a point; thence N 33° 11' W for 95.7 feet to a point; thence N 32° 44' W for 97.5 feet to a point; thence N 31° 48' W for 99.9 feet to a point; thence N 30° 58' W for 255.0 feet to an iron; thence from said iron located on the northern boundary of the said right of way for Interstate I-77 along property now or formerly of Westvaco N 15° 31' E for 27.05 feet to an iron; thence turning and continuing along said property now or formerly of Westvaco N 4° 11' E for 449.3 feet to an iron; thence turning and running along property now or formerly of V. E. Barnett N 03° 35' E for 1034.8 feet to an iron; thence turning and running along property now or formerly of Edward G. Palmer N 89° 15' E for 551.0 feet to an iron; thence turning and continuing along said property N 56° 15' E for 464.0 feet to an iron, this being the point of beginning.

This being a portion of the property heretofore conveyed to Marshland Associates by Deed of Owens T. Cobb, Jr., Master in Equity for Richland County, dated July 2, 1973, and recorded in the RMC Office for Richland County on July 2, 1973, in Deed Book D-285 at page 591.

As part of the consideration, the Grantee expressly assumes \$51,966.27 of the principal balance, plus interest which shall hereafter accrue on the aforesaid sum, under that certain note and real estate mortgage given by Marshland Associates to the Citizens and Southern National Bank of South Carolina dated July 2, 1973, said mortgage being recorded in the RMC Office for Richland County in Mortgage Book M-318 at page 285.

This conveyance is made subject to easements, restrictions, covenants and conditions existing against the aforesaid property, and the Grantee accepts said property in an "as is" condition.

GRANTEE'S ADDRESS: c/o Cotter & Co., 900 Elmwood Avenue, Columbia, S. C.

Together with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

To Have and to Hold all and singular the premises before mentioned unto the said Carodale Associates

its successors
and Assigns forever

And it does do heret bind itself and its successors and assigns ~~to~~ to warrant and forever defend all and singular the said premises unto the said Carodale Associates

its successors
and Assigns, against it and its successors and assigns ~~to~~ to whomsoever lawfully claiming, or to claim, the same or any part thereof.

the execution hereof
WITNESS / ~~Handwritten~~ this 30th day of December
in the year of our Lord one thousand nine hundred and seventy-five (1975)
and in the ~~two hundred~~ two hundredth year of the Sovereignty
and Independence of the United States of America. MARSHLAND ASSOCIATES

Signed, Sealed and Delivered
in the presence of
William M. Latta Jr.
Mureen O'Keefe

BY: *Owens T. Cobb* (SEAL)
L. Arlen Cotter (partner)
BY: *Sam Hyman* (SEAL)
Sam Hyman (partner)

State of South Carolina
RICHLAND COUNTY

JUN 2 4 31 PM '73

JOHN MAJOR

To all to whom these Presents shall come, or be made known, of whom the same may in any wise concern:

I, OWENS T. COBB, JR., as Master in Equity for the County of Richland, in the said State, send Greetings:

Whereas, Emmie Faust Dial

AFFIDAVIT

_____ as Plaintiff/s,

on or about the 29th day of January, 1973,

did file her Complaint in the Court of Common

Pleas at Columbia, in the County of Richland, and State aforesaid against Leon O. Grimsley, Eva G. Wiles, Helen G. Adams, Eva G. Bailey, Marvin Grimsley, Frank Grimsley, Eunice G. Williams, W. D. Grimsley, Leon McAlpin, Mae Grimsley, I. C. Grimsley, William Grimsley, Sarah G. Dunn, Evelyn G. Johnson, Curtis Grimsley, Claudia Everett Grimsley, Mary G. Whitaker, Eloise G. Dunn, Leon ** as Defendant/s;

And after full hearing of the issues, the Honorable John Grimsley, Presiding

Judge of said Court, on May 16, 1973, did order, adjudge and decree that the property hereinafter more particularly set forth and described, should be sold by said OWENS T. COBB, JR., as Master in Equity for Richland County, on the terms and for the purposes mentioned in the order and/or orders granted in the case;

And, I, OWENS T. COBB, JR., as Master in Equity for the said County, after having duly advertised the said property for sale at public outcry, did openly and publicly, and after the manner of auction, sell the said property on the 4th day of June, 1973, for the sum of Four Hundred Forty-seven Thousand (\$447,000.00)-----Dollars, said amount being the highest bid at said sale, unto: W. D. Grimsley, Jr., as Agent:

And the said W. D. Grimsley, Jr., as Agent, duly assigned his said bid unto Marshland Associates, a South Carolina General Partnership, its Successors and Assigns, and directed the Master for Richland County, upon payment of the bid to execute and deliver deed of conveyance unto the said assignee:

Marshland Associates
90 Elmwood Avenue
Columbia, S.C.

**Grimsley, Allan Marsh, Naomi Chitwood, Irene Shatto, Jack Grimsley, Elizabeth Lever, John Henry Marsh, Beulah M. Price, and all persons entitled to claim under or through William A. Marsh, now deceased, also any other persons unknown claiming any right, title, estate, interest in or lien upon the real estate described in the Complaint herein, and any unknown adults being as a class designated as John Doe and any unknown infants, or persons under disability including those in the military service, being as a class designated Richard Roe,

ALL COSTS HAVING BEEN PAID:

NO'W, KNOW ALL MEN, That I, OWENS T. COBB, JR., as Master in Equity for Richland County, pursuant to the foregoing, and also in consideration of the said sum of Four Hundred Forty-seven Thousand (5447.000.00) Dollars to me paid by the said Marshland Associates

the receipt whereof is hereby acknowledged, have granted, bargained, sold, and released, and by these presents do grant, bargain, sell and release the following described property unto:

MARSHLAND ASSOCIATES,
its Successors and Assigns:

All that certain piece, parcel or tract of land situate, lying and being in the County of Richland, State of South Carolina, containing 147.56 acres, more or less, and being more fully described and delineated on a plat prepared for Alan Kahn by Douglas E. Platt, Sr., Registered Land Surveyor, dated April 16, 1973, recorded in the office of the Clerk of Court for Richland County in Plat Book X, at page 7273, said parcel having the following bounds and measurements: BEGINNING at an iron at the northernmost corner of the tract where it borders property now or formerly of V. E. Barnett and running N 89° 15' E for a distance of 551 feet to an iron; thence running N 56° 15' E for a distance of 464 feet to an iron; thence turning and running S 08° 30' E along property now or formerly of Creech and Entzminger for a distance of 951.2 feet to an iron; thence running S 09° 45' E along property now or formerly of William and Joyce Marsh for a distance of 233 feet to a point; thence running S 09° 15' E along property now or formerly of Curtis Marsh for a distance of 205.2 feet to an iron; thence running S 08° 48' E along property now or formerly of Albert Marsh and L. D. Haltiwanger for a distance of 291.2 feet to a point; thence turning and running S 20° 22' W along property now or formerly of Aaron K. Willingham for a distance of 1030.8 feet to an iron; thence turning and running S 22° 34' E along the lands now or formerly of Miss Clyde Joiner for a distance of 625 feet to an iron; thence running S 22° 43' E for a distance of 267 feet to an iron; thence running S 22° 20' E for a distance of 787 feet to a point; thence turning and running along property now or formerly of Lina Mae Leigh and Lester Eugene Moore S 42° 10' W for a distance of 176.6 feet to a point; thence running S 02° 05' W for a distance of 154.3 feet to a point; thence running S 35° 42' W for a distance of 203 feet to a point; thence running S 60° 45' W for a distance of 274.5 feet to a point; thence running S 77° 44' W for a distance of 242.3 feet to a point; thence running S 74° 30' W for a distance of 248 feet to a point; thence running S 59° 00' W for a distance of 149.4 feet to a point; thence running S 60° 55' W for a distance of 62.2 feet to a point; thence turning and running N 44° 59' W for a distance of 130 feet to a point; thence turning and running S 77° 39' W for a distance of 184 feet to a point; thence running N 68° 54' W for a distance of 155 feet to a point; thence running N 39° 47' W for a distance of 181.8 feet to a point; thence running N 77° 17' W for a distance of 74 feet to a point; thence turning and running S 41° 36' W for a distance of 61.6 feet to a point; thence turning and running N 43° 53' W for a distance of 65.4 feet to a point; thence running N 50° 23' W for a distance of 144 feet to a point; thence running N 55° 28' W for a distance of 181 feet to a point; thence running S 82° 57' W for a distance of 106 feet to a monument; thence turning and running along property now or formerly of Westvaco N 07° 50' E for a distance of 1229 feet to an iron; thence running W 15° 31' E for a distance of 1601.7 feet to an iron; thence running N 04° 11' E for a distance of 449.3 feet to an iron; thence running N 03° 35' E along property now or formerly of V. E. Barnett for a distance of 1034.8 feet to the point of BEGINNING.

This being the property heretofore conveyed to William A. Marsh by deed of Mary J. Fealy dated October 6, 1887, and recorded in the office of the Clerk of Court for Richland County on November 3, 1887 in Book of Deeds R at page 292.

TOGETHER with all and singular the hereditaments, rights, members and appurtenances whatsoever to the said lot or tract of land belonging, or in any wise incident or appertaining, and the reversions and remainders, rents, issues and profits thereof; and also any estate, right, title, interest, dower, possession, benefit, claim or demand therein whatsoever, of all parties to the said suit, and all other persons, who might rightfully claim the same or any part thereof, by, from or under them, or either of them;

TO HAVE AND TO HOLD the said property, with its hereditaments, privileges, and appurtenances, unto the said Marshland Associates, its Successors and Assigns

_____ for their own proper use, benefit and behoof, forever.

IN WITNESS WHEREOF, I, OWENS T. COBB, JR., as Master in Equity for Richland County, under and by virtue of the said order or orders, have hereunto set my Hand and Seal, at Columbia, S. C., the 2nd day of July in the year of our Lord one thousand nine hundred seventy-three, and in the one hundred and ninety-seventh year of the Sovereignty and Independence of the United States of America.

SIGNED, SEALED and DELIVERED in the Presence of:

Pamela C. Mack
Linda S. Walker

Owens T. Cobb, Jr.
As Master in Equity for Richland County

RICHLAND COUNTY
044904
SOUTH CAROLINA COUNTY DOCUMENTARY TAX
★ JUL-273
P.B. 10912
91.70

RICHLAND COUNTY
056237
STATE OF SOUTH CAROLINA
SOUTH CAROLINA TAX COMMISSION
DOCUMENTARY TAX STAMP
★ JUL-273
P.B. 10900
894.00 ★

RICHLAND COUNTY
044903
SOUTH CAROLINA COUNTY DOCUMENTARY TAX
★ JUL-273
P.B. 10912
400.00

State of South Carolina }
RICHLAND COUNTY

PERSONALLY appeared Pamela C. Mack
and made oath that she saw OWENS T. COBB, JR., as Master in Equity for Richland County, sign, seal,
and deliver the wit' in Dec' present together with Linda S. Walker
signed their names as witnesses thereto.

SWORN to and SUBSCRIBED before me, this
2nd day of July A.D. 1973
Linda S. Walker (L. S.)
Notary Public for South Carolina

Pamela C. Mack

NOTARIAL SEAL
KINDA S. WALKER
Notary Public for South Carolina
My Commission Expires January 18, 1978

R/292

292

REGISTER OF MESNE CONVEYANCE, RICHLAND COUNTY, S. C.— DEEDS.

Mary J. Peuly
Wife of W. A. Marsh

The State of South Carolina,
RICHLAND COUNTY.

KNOW ALL MEN BY THESE PRESENTS, THAT Mary J. Peuly

in the State aforesaid.

in consideration of the

sum of ten hundred and fifty dollars

to

me paid by William A. Marsh

in the State aforesaid.

have granted, bargained, sold and released, and by these presents do grant, bargain,

sell and release, unto the said William A. Marsh his heirs and assigns all that lot piece or parcel of land situate lying and being in the State aforesaid, containing one hundred and twenty five acres more or less bounded on the north by lands of E. P. Sutzminger on the east by lands of A. D. Sutzminger on the south by lands of the estate of G. W. Smith on the west by lands of C. E. Beckhart or waters of Little Cross Creek

TOGETHER with all and singular the rights, members, hereditaments and appurtenances to the said premises belonging, or in any wise incident or appertaining: TO HAVE AND TO HOLD all and singular the premises before mentioned unto the said William A. Marsh, his

Heirs and Assigns forever.

AND I do hereby bind myself, my Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said William A. Marsh, his

Heirs and Assigns, against me and my Heirs, and all other persons lawfully claiming, or to claim, the same or any part thereof.

Witness my Hand and Seal this the sixth day of October in the year of our Lord one thousand eight hundred and eighty seven and in the one hundred and twelfth year of the Sovereignty and Independence of the United States of America.

SIGNED, SEALED AND DELIVERED BY THE FOREGOING

Lewis P. Lochler
John Peuly
(State of South Carolina,
Richland COUNTY.)

Mary J. Peuly (S)

PERSONALLY appeared before me Lewis P. Lochler and made oath that she saw the within named

sign, seal, and as her act and deed, deliver the within written Deed, and that with witness the execution thereof.

John Peuly
Lewis P. Lochler
day of October, 1887

Sworn before me, this 6th
W. W. Cloud
Notary Public (S)
State of South Carolina,
COUNTY.

Recorded Nov-3 1887 & delivered to

RENUNCIATION OF DOWER.

I do hereby certify, unto all whom it may concern, that Mrs.

wife of the within named

R/292

995.00
492.25

ED 592 647

FORM NO. 117 - TITLE TO REAL ESTATE TO A CORPORATION
COLUMBIA SERVICE SUPPLY CO. COLUMBIA, S.C.

THE STATE OF SOUTH CAROLINA.
COUNTY OF RICHLAND.

NOV 5 4 25 PM '81



NOTARY PUBLIC
RICHLAND COUNTY, SOUTH CAROLINA
CLARA L. BARTLEY

AFFIDAVIT

KNOW ALL MEN BY THESE PRESENTS, THAT

Alen B. Kahn
STATE OF SOUTH CAROLINA
SOUTH CAROLINA TAX COMMISSION
DOCUMENTARY
STAMP TAX 895.00
PD 1127

SOUTH CAROLINA COUNTY DOCUMENTARY TAX
★ 492.25

in the State aforesaid for and in consideration of the sum of
Ten and No/100ths (\$10.00)----- Dollars,
and other valuable consideration
to me in hand paid at and before the sealing and delivery of these Presents, by
Policy Management Systems Corporation

in the State aforesaid (the receipt whereof is hereby acknowledged),
have granted, bargained, sold and released, and by these Presents do grant, bargain, sell and release unto the said
**POLICY MANAGEMENT SYSTEMS CORPORATION,
ITS SUCCESSORS AND ASSIGNS:**

All that certain piece, parcel or tract of land, situate, lying and being on the Western side of U. S. Highway No. 21, approximately 12 miles North of the City of Columbia, County of Richland, State of South Carolina, known as Lot 21, Block 1 on Tax Map No. 489, containing 28.85 acres, more or less, as shown and delineated on a plat prepared for Seibels, Bruce and Company, by Leon Campbell and Associates, Inc., dated April 10, 1981, and recorded in the office of the RMC for Richland County in Plat Book 2, at Page 1404, and, according to said latter plat, having the following metes and bounds, to wit: Beginning at an iron located on the Western edge of the right of way of U. S. Highway No. 21 and running along said right of way South 14° 19' 12" West for a distance of 63.65 feet to a right of way monument; thence turning and running along said right of way South 19° 54' 58" West for a distance of 614.19 feet to a right of way monument; thence turning and running along the arc of a circle, the chord of which runs South 25° 21' 22" West for a distance of 51.03 feet to a point; thence turning and running South 83° 35' 01" West for a total distance of 209.59 feet to a point; thence turning and running along the arc of a circle, the chord of which runs North 64° 43' 07" West for a distance of 117.77 feet to a point; thence turning and running North 22° 01' 51" West for a distance of 51.22 feet to an iron; thence turning and running North 22° 29' 42" West for a distance of 621.50 feet to a point; thence turning and running North 21° 48' 36" East for a distance of 1,029.42 feet to an iron; thence turning and running South 37° 00' 22" East for a distance of 457.54 feet to an iron; thence turning and running South 37° 00' 22" East for a distance of 68.06 feet to an iron; thence continuing South 37° 00' 22" East for a distance of 59.96 feet to an iron; thence continuing South 37° 00' 22" East for a distance of 261.77 feet to a point; thence continuing South 37° 00' 22" East for a distance of 507.58 feet to the point of beginning, be all measurements a little more or less.

D592 647

D 592ref 648

This being a portion of the property heretofore conveyed to the grantor herein by deed of A. K. Willingham dated September 7, 1973, and recorded in the Richland County R.M.C. Office in Deed Book D-292, page 455, and by deeds recorded in Deed Book D-592, page 648, and Deed Book _____, page _____.

~~Through this deed the grantor conveys to the grantees the portion of the property heretofore conveyed to the grantor herein by deed of A. K. Willingham dated September 7, 1973, and recorded in the Richland County R.M.C. Office in Deed Book D-292, page 455, and by deeds recorded in Deed Book D-592, page 648, and Deed Book _____, page _____.~~

Grantee's mailing address: 1321 Lady Street, Columbia, SC 29201

TOGETHER with all and singular the Rights, Members, Hereditaments and Appurtenances to the said Premises belonging, or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all and singular, the said premises before mentioned, unto the said Policy Management Systems Corporation,

its successors and assigns forever.

And I do hereby bind myself and my heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said Corporation,

Policy Management Systems

its successors and assigns against myself and my heirs and against all persons whomsoever thereof.

lawfully claiming, or to claim the same or any part

WITNESS my Hand and Seal, this 6th day of November in the year of our Lord one thousand nine hundred and eighty-one and in the hundred and sixth year of the Sovereignty and Independence of the United States of America.

Signed, Sealed and Delivered in the Presence of

James C. Christian
Robert W. [unclear]

Alan B. Kahn (L. S.)
Alan B. Kahn (L. S.)
____ (L. S.)

D 592ref 648

State of South Carolina, Sep 7 3 45 PM '77
COUNTY OF RICHLAND. JOHN MAJOR
C. C. P. & G. S.



AFFIDAVIT

Know All Men by These Presents, That A. K. Willingham

165701
32355

RICHLAND COUNTY 046380	SOUTH CAROLINA COUNTY DOCUMENTARY TAX	
	SEP-77 PR. 10312	377.85

RICHLAND COUNTY 059074	STATE OF SOUTH CAROLINA SOUTH CAROLINA TAX COMMISSION DOCUMENTARY TAX STAMP	
	SEP-77 PR. 10312	687.00

In the State aforesaid, for and in consideration of the sum of Five (\$5.00) Dollars and other valuable consideration to me paid by Alan B. Kahn

in the State aforesaid, the receipt of which is hereby acknowledged, have granted, bargained, sold and released, and by these presents do grant, bargain, sell and release unto the said

ALAN B. KAHN,
HIS HEIRS AND ASSIGNS:

All that certain piece, parcel or tract of land, situate, lying and being approximately 12 miles North of the City of Columbia, County of Richland, State of South Carolina, on the Western side of U. S. Highway No. 21, containing an aggregate of 28.9 acres, more or less, as shown and delineated on a plat prepared for Alan Kahn, by Douglas E. Platt, Sr., dated August 31, 1973, and recorded in the office of the Clerk of Court for Richland County in Plat Book 44, at Page 480; said tract having the following courses and distances to wit: Beginning at an iron located in the Northern-most corner of said tract and running South 37° 34' East 1,324.0 feet to an iron, thence turning and following the right of way for U. S. Highway No. 21 South 19° 07' West 770.0 feet to an iron, thence turning and leaving said right of way and running South 89° 21' West 575.9 feet to an iron, thence turning and running North 22° 43' West 267.0 feet to an iron, thence continuing North 22° 34' West 625.0 feet to an iron, thence turning and running North 20° ... East 1,030.8 feet to an iron, this being the point of beginning. All measurements being more or less.

Said property being also shown as 28.6 Acres, more or less, on plat of property of E. W. Wooten prepared by Wm. A. Clark, L.S., dated May 7, 1933 and recorded in the office of the Clerk of Court for Richland County in Plat Book ... Page 204.

Reference is had to the above referred to plats for a more complete description.

This being the identical property conveyed to Lila P. Willingham and Aaron K. Willingham by Deed of Eloise M. Wooten, dated July 7, 1959, and recorded in the Office of the Clerk of Court for Richland County in Deed Book 254, at page 268, Lila P. Willingham having conveyed all of her right, title and interest in said premises to Aaron K. Willingham, the Grantor herein, by Deed dated September 6, 1962, and recorded in the aforesaid Clerk's office in Deed Book 335, at Page 407.

Address of Grantee: P. O. Box 1608, Columbia, S. C.

D 292 PAGE 456

TOGETHER with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

To HAVE AND TO HOLD all and singular the premises before mentioned unto the said

Alan B. Kahn, his

Heirs and Assigns forever.

And I do hereby bind myself and my Heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said Alan B. Kahn, his

Heirs and Assigns, against myself and my Heirs and against every person whomsoever lawfully claiming, or to claim, the same or any part thereof.

WITNESS my Hand and Seal this 7th day of September in the year of our Lord one thousand nine hundred and seventy-three and in the one hundred and ninety-eighth year of the Sovereignty and Independence of the United States of America.

SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF

Denise L. Joy

A. K. Willingham (SEAL)
A. K. Willingham (SEAL)

D 292 PAGE 456

D 292 @ 456

335-407

FILED

State of South Carolina,
COUNTY OF Richland:

SEP 7 11 10 AM '62

JES W. HEINITSH
P. & G. S.
CLERK

Know All Men By These Presents,

That I, Lila P. Willingham

in the State aforesaid, for and in consideration of the
sum of *Ten (\$10.00) Dollars*
to me paid by Aaron K. Willingham
in the State aforesaid, the receipt whereof is hereby
acknowledged, have granted, bargained, sold and released, by these presents do grant, bargain, sell and release
unto the said AARON K. WILLINGHAM, his heirs and assigns:

All my right, title and interest in and to that certain piece, parcel or tract of land, with all improvements thereon, situate, lying and being on the Northwest side of U. S. Highway No. 21, twelve (12) miles North of the City of Columbia, County of Richland, State of South Carolina, shown and delineated as 28.6 acres on a plat of property of E. W. Wooten by William A. Clark, Surveyor, dated May 7, 1955, and recorded in Plat Book 6, at Page 264, in the office of the Clerk of Court for Richland County; said tract having measurements, notes and bounds as shown on said recorded plat; being bounded on the Northeast by property now or formerly of E. W. Wooten, whereon it measures 1,355.5'; on the Southeast by U. S. Highway No. 21, whereon it measures 740'; on the South by property of unknown persons, whereon it measures 713'; on the Southwest by property of unknown persons, whereon it measures 1,000'; and on the Northwest by property now or formerly of Morse, whereon it measures 1,025'; be all measurements a little more or less; said tract being the identical tract heretofore conveyed to Lila P. Willingham and Aaron K. Willingham by Eloise M. Wooten by deed dated July 7, 1959, and recorded July 9, 1959 in Deed Book 254, at Page 268, in the office of the Clerk of Court for Richland County.

335 @ 407

254 268

LETTER TO REAL ESTATE
The R. L. Bryan Company, Columbia, S. C.

State of South Carolina,
COUNTY OF RICHLAND:

FILED
JUL 9 12 42 PM '59
A. H. S. W. HENNINGSON
S. C.

Know All Men by These Presents, That I, Eloise M. Wooten,
Send Greetings:



in the State aforesaid, for and in consideration of the
sum of Six Thousand Five Hundred and No/100 (\$6,500.00) Dollars
to me paid by Lila P. Willingham and Aaron K. Willingham
in the State aforesaid, receipt of which is hereby acknowledged
have granted, bargained, sold and released, and by these presents do grant, bargain, sell and release unto the said
LILA P. WILLINGHAM and AARON K. WILLINGHAM, XXXXXXXXXXXXXXXXXXXXXXX

All that certain piece, parcel or tract of land, with all improvements thereon, situate, lying and being on the Northwest side of U. S. Highway no. 21, Twelve (12) miles North of the City of Columbia, County of Richland, State of South Carolina, shown and delineated as 28.6 acres on a plat of property of E. W. Wooten by William A. Clark, Surveyor, dated May 7, 1955, and recorded in Plat Book 6, at Page 264, in the office of the Clerk of Court for Richland County; said tract having measurements, metes and bounds as shown on said recorded plat; being bounded on the Northeast by property now or formerly of E. W. Wooten, whereon it measures One Thousand Three Hundred Fifty-Five and Five-tenths (1,355.5') feet; on the Southeast by U. S. Highway No. 21, whereon it measures Seven Hundred Forty (.40') feet; on the South by property of unknown persons, whereon it measures Seven Hundred Thirteen (713') feet; on the Southwest by property of unknown persons, whereon it measures One Thousand (1000') feet; and on the Northwest by property now or formerly of Morse, whereon it measures One Thousand Twenty-Five (1,025') feet; be all measurements a little more or less; said tract being the identical tract heretofore conveyed to me by my son, Earl Walter Wooten, by Deed recorded June 4, 1959 in Deed Book 252, at Page 28, and being the identical tract conveyed to my son, Earl Walter Wooten, by me by Deed dated October 22, 1956, and recorded January 9, 1957 in Deed Book 200, at Page 390, and being the identical tract conveyed to me by my husband, Earl W. Wooten, by Deed dated June 27, 1955, and recorded July 1, 1955 in Deed Book 163, at Page 260; my said husband, Earl W. Wooten having had no interest in the real estate since the date of this last named deed, and said tract being free and clear of any and all encumbrances, all liens of record against Earl W. Wooten being against my husband and not against me, Earl Walter Wooten.

254 268

254 269

To Have and to Hold, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining

To Have and to Hold all and singular the premises before mentioned unto the said

Lila P. Willingham and Aaron K. Willingham, ~~maker~~ and the survivor of them, his or her

Heirs and Assigns forever.

And I do hereby bind myself and my Heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said

Lila P. Willingham and Aaron K. Willingham, ~~maker~~ and the survivor of them, his or her

Heirs and Assigns, against myself and my Heirs and against every person whomsoever lawfully claiming, or to claim, the same or any part thereof.

WITNESS my Hand and Seal this 7th day of July in the year of our Lord one thousand nine hundred and fifty-nine and in the one hundred and eighty-fourth year of the Sovereignty and Independence of the United States of America.

SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF

[Handwritten signatures of witnesses]

Eloise M. Wooten

(SEAL) (SEAL)

STATE OF SOUTH CAROLINA, Richland COUNTY

PERSONALLY appeared before me Barbara Robinson

and made oath that she saw the within-named Eloise M. Wooten sign, seal and, as her act and deed, deliver the within-written Deed for the uses and purposes therein mentioned and that he, with Henry W. Kirkland witnessed the execution thereof.

SWORN to before me this 7th day of July, 19 59

[Handwritten signature of Notary Public]

Notary Public of S. C.

My commission expires at the will of the Governor.

STATE OF SOUTH CAROLINA, COUNTY

NO RENUNCIATION OF DOWER GRANTOR IS A WOMAN

I, do hereby certify

unto all whom it may concern, that Mrs.

254@269

D 592 PAGE 645

STATE OF SOUTH CAROLINA }
COUNTY OF Richland }

FILED

QUIT-CLAIM DEED RECORD



PAID

Nov 6 4 24 PM '81

WHEREAS, The South Carolina Department of Highways and Public Transportation pursuant to authority contained in Section 57-5-340, Code of Laws of South Carolina, 1976, authorizing the release of the premises hereinbelow described, which premises are no longer required for purposes of the South Carolina Department of Highways and Public Transportation, Now

KNOW ALL MEN BY THESE PRESENTS, That the South Carolina Department of Highways and Public Transportation, for and in consideration of the sum of One and NO/100 Dollars.....(\$ 1.00) to it in hand paid, receipt of which is hereby acknowledged, does hereby remise, release and quit-claim unto Alan B. Kahn all its right, title, interest in

or to the following described property; all that piece, parcel or strip of land on the west of the centerline of original Route 21 now being in the north quadrant of the interchange of Route 21 and I-77. Said property being bounded on the north by property now or formerly of Rees and Nancy F. Johnson; bounded on the east by the right of way of relocated Route 21 which is the centerline of original Route 21; on the south by I-77 access ramp; and on the west by lands of Alan B. Kahn. The property herein quit-claimed is shown on Sheet #82 of plans for File 40.774 and is a portion of the right of way of Route 21 when it was constructed under Project #156 dated February 20, 1922.

TO HAVE AND TO HOLD unto the said Alan B. Kahn

his Heirs, Executors and Assigns forever, the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest and claim whatsoever of the South Carolina Department of Highways and Public Transportation.

D 592 PAGE 645

WITNESS the hand and seal of the South Carolina Department of Highways and Public Transportation this 29th day of October, in the year of our Lord One Thousand Nine Hundred Eighty-One and in the Two Hundred and Sixth year of the Sovereignty and Independence of the United States of America.

Signed, sealed and delivered in the presence of:

South Carolina Department of Highways and Public Transportation

Barbara G. Robeson

By: Paul W. Cobb (L.S.)
Chief Commissioner

Louise J. Burnette

By: W. P. Ragin (L.S.)
Secretary-Treasurer

Hereunto duly authorized and empowered.

STATE OF SOUTH CAROLINA)
COUNTY OF Richland)

PRCBATE

Personally appeared before me Louise J. Burnette and made oath that she saw the within named South Carolina Department of Highways and Public Transportation, by its duly authorized officers Paul W. Cobb, Chief Commissioner and W. P. Ragin, Secretary - Treasurer, sign, seal with its corporate seal, and as its act and deed delivered the within written instrument, and that she with Barbara G. Robeson witnessed the execution thereof.

SWORN to before me this 29th day of October, 1981

Louise J. Burnette

J. A. Hansen (L.S.)
Notary Public for South Carolina
Expiration: 10/21/90

D 785/308

00785/308

TITLE TO REAL ESTATE FORM 14-D
COLUMBIA METEOR SUPPLY CO. COLUMBIA S.C.

State of South Carolina,
COUNTY OF RICHLAND

1986 JAN 27 11 3 38



ACCEPTED

Know All Men By These Presents.

That I, Christian D. Hoff

in the State aforesaid for and in consideration of the
sum of Five and no/100 (55.00) Dollars and other valuable consideration
to me paid by Policy Management Systems Corporation
in the State aforesaid, the receipt whereof is hereby
acknowledged, have granted, bargained, sold and released, by these presents do grant, bargain, sell and release
unto the said

POLICY MANAGEMENT SYSTEMS CORPORATION,
its successors and assigns:

ALL OF MY RIGHT, TITLE AND INTEREST IN AND TO:
All that certain piece, parcel or lot of land, with any improvements thereon, situate, lying and being on the western side of U.S. Highway #21, near the Town of Blythewood, in the County of Richland, State of South Carolina, being more particularly shown and designated as Tract "A", containing 1.04 acres, more or less, on a plat prepared for Policy Management Systems Corporation by Cox & Dinkins, Inc., Engineers and Surveyors, dated January 30, 1986, to be recorded, and according to said plat, having the following metes and bounds, to-wit: Beginning at an iron on the western edge of the right-of-way of U.S. Highway #21, at its point of intersection with the center line of Hell Valley Road, thence running along the center line of said road South 83°26' West for a distance of 20.90 feet to an iron, which is located approximately 0.4 mile north of Interstate Highway #77; thence turning and running along the center line of Hell Valley Road South 84°05' West for a distance of 207.47 feet to a point; thence continuing along said center line South 82°28' West for a distance of 78.18 feet to a point; thence continuing along said center line South 80°31' West for a distance of 63.19 feet to a point; thence continuing along said center line South 77°30' West for a distance of 39.11 feet to a point; thence continuing along said center line South 75°54' West for a distance of 111.94 feet to an iron; thence continuing along said center line South 73°11' West for a distance of 59.57 feet to an iron; thence continuing along said center line

D 785@308

South 88°47' West for a distance of 55.70 feet to an iron; thence turning, and running North 69°39' East for a distance of 49.11 feet to an iron; thence turning, and running North 67°56' East for a distance of 470.96 feet to an iron; thence turning and running North 67°57' East for a distance of 176.96 feet to an iron; thence turning and running along the western edge of the right-of-way of U.S. Highway #21 South 07°05' West for a distance of 163.11 feet to the point of beginning, be all measurements a little more or less.

This being the identical property heretofore conveyed to the grantor herein by deed of Hyman Scribnick recorded April 10, 1978, in Deed Book D457 at page 785.

Grantee's Address: 1 PMS Center, Blythewood, SC 29016

Together with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

To Have and to Hold all and singular the premises before mentioned unto the said

Policy Management Systems Corporation, its successors

~~Grantor~~ and Assigns forever

And I do hereby bind myself and my Heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said

Policy Management Systems Corporation, its successors

~~Grantor~~ and Assigns, against me and my Heirs and against every person whomsoever lawfully claiming, or to claim, the same or any part thereof.

WITNESS by Hand and Seal this 11th day of March in the year of our Lord one thousand nine hundred and eighty-six and in the two hundred and tenth year of the Sovereignty and Independence of the United States of America.

Signed, Sealed and Delivered in the presence of

R. Michael Jones
R. MICHAEL JONES
Raynette A. Aben
RAYNETTE A. ABEN

Christian D. Nolf (SEAL)
Christian D. Nolf

D 7850309 (SEAL)

D785/310
NOTARIAL

MICHIGAN }
STATE OF ~~SOUTH CAROLINA~~ }
WAYNE County }

Personally appeared before me R Michael Jones
and made oath that he saw the within named Christian D. Nolf
sign, seal and as his act and deed, deliver the within written Deed for the uses and purposes therein
mentioned, and that he, with RAYONETTE A. ABEN witnessed the
execution thereof.

SWORN to before me this 11th
day of March 1986

R Michael Jones
R. MICHAEL JONES

MICHAEL A. BELL (L.S.)
Notary Public of ~~MI~~ MICH.
My Commission Expires: 7-26-86
STATE OF SOUTH CAROLINA,
Wayne County, Michigan }
My Commission Expires July 26 1986

NO RENUNCIATION OF DOWER
(Boan v. Watson)

I, _____, do hereby certify
unto all whom it may concern, that Mrs.
the wife of the within named
did this day appear before me, and upon being privately and separately examined by me, did declare that she does
freely, voluntarily and without any compulsion, dread or fear of any person or persons whomsoever, renounce, release
and forever relinquish unto the within named

hcirs

and assigns, all her interest and estate, and also her rights and Claim of Dower of, in or to all and singular the
premises within mentioned and released.

Given under my Hand and Seal, this
day of _____
Anno Domini 19 _____

(L.S.)
Notary Public of S. C.

D785@310

79 01
43.45
AFFIDAVIT

State of South Carolina,
COUNTY OF RICHLAND



PAID

D785/305

TITLE TO REAL ESTATE FORM 14 B
SOUTH CAROLINA OFFICE SUPPLY CO. COLUMBIA S.C.

Know All Men By These Presents.

That we, Ada Faye Johnson and

Jimmie M. Johnson

in the State aforesaid for and in consideration of the
sum of Five and 70/100 (\$5.00) Dollars and other valuable consideration
to me paid by Policy Management Systems Corporation
in the State aforesaid, the receipt whereof is hereby
acknowledged, have granted, bargained, sold and released, by these presents do grant, bargain, sell and release
unto the said

POLICY MANAGEMENT SYSTEMS CORPORATION,
its successors and assigns:

ALL OF OUR RIGHT, TITLE AND INTEREST IN AND TO:
All that certain piece, parcel or lot of land, with any improvements thereon,
situate, lying and being on the western side of U.S. Highway #21, near the Town
of Blythewood, in the County of Richland, State of South Carolina, being more
particularly shown and designated as Tract "A", containing 1.04 acres, more or
less, on a plat prepared for Policy Management Systems Corporation by Cox &
Dinkins, Inc., Engineers and Surveyors, dated January 30, 1986, to be recorded,
and according to said plat, having the following metes and bounds, to-wit:
Beginning at an iron on the western edge of the right-of-way of U.S. Highway #21,
at its point of intersection with the center line of Hell Valley Road, thence
running along the center line of said road South 83°26' West for a distance of
20.90 feet to an iron, which is located approximately 0.4 mile north of
Interstate Highway #7; thence turning and running along the center line of Hell
Valley Road South 84°05' West for a distance of 207.47 feet to a point; thence
continuing along said center line South 82°28' West for a distance of 78.18 feet
to a point; thence continuing along said center line South 80° 31' West for a
distance of 63.19 feet to a point; thence continuing along said center line
South 77°30' West for a distance of 39.11 feet to a point; thence continuing
along said center line South 75°54' West for a distance of 111.94 feet to an
iron; thence continuing along said center line South 73°11' West for a distance
of 59.57 feet to an iron; thence continuing along said center line

D785@305

South 88°47' West for a distance of 55.70 feet to an iron; thence turning and running North 69°39' East for a distance of 49.11 feet to an iron; thence turning and running North 67°56' East for a distance of 470.96 feet to an iron; thence turning and running North 67°57' East for a distance of 176.96 feet to an iron; thence turning and running along the western edge of the right-of-way of U.S. Highway #21 South 07°05' West for a distance of 163.11 feet to the point of beginning, be all measurements a little more or less.

This being the identical property heretofore conveyed to the grantors herein by deed of Hyman Sribnick to Christian D. Noff and Jimmie M. Johnson, recorded April 10, 1978, in Deed Book D457 at page 788; by deed of Jimmie M. Johnson to Ada Faye Johnson, of 1/4 undivided interest, recorded December 31, 1984, in Deed Book D723 at page 871; and, by deed of Ada Faye Johnson to Jimmie M. Johnson, of 1/2 of her undivided one-half interest, dated February 7, 1986, recorded _____ 1986, in Deed Book D785 at page 303.

Grantee's Address: 1 PMS Center, Blythewood, SC 29016

Together with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

To Have and to Hold all and singular the premises before mentioned unto the said

Policy Management Systems Corporation, its successors

~~THEY~~ and Assigns forever

And we do hereby bind ourselves and our Heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said

Policy Management Systems Corporation, its successors

~~THEY~~ and Assigns, against us and our Heirs and against every person whomsoever lawfully claiming, or to claim, the same or any part thereof.

WITNESS our Hands and Seal this _____ day of _____ in the year of our Lord one thousand nine hundred and eighty-six and in the two hundred and tenth year of the Sovereignty and Independence of the United States of America.

Signed, Sealed and Delivered in the presence of

William T. Lamb

Paul J. [unclear]

Ada Faye Johnson (SEAL)
Ada Faye Johnson
Jimmie M. Johnson (SEAL)
Jimmie M. Johnson

D785E306

STATE OF SOUTH CAROLINA,
Richland County }

Personally appeared before me

and made oath that saw the within named Ada Faye Johnson and Jimmie M. Johnson
sign, seal and as their act and deed, deliver the within written Deed for the uses and purposes therein
mentioned, and that he, with witnessed the
execution thereof.

SWORN to before me this

27 day of August 1956
Walter F. Cassidy
Notary Public of S. C.
My Commission Expires: 3-57

STATE OF SOUTH CAROLINA,
County }

NO RENUNCIATION OF DOWER
(Boan v. Watson)

I,

, do hereby certify

unto all whom it may concern, that Mrs.

the wife of the within named

did this day appear before me, and upon being privately and separately examined by me, did declare that she does
freely, voluntarily and without any compulsion, dread or fear of any person or persons whatsoever, renounce, release
and forever relinquish unto the within named

heirs

and assigns, all her interest and estate, and also her rights and Claim of Dower of, in or to all and singular the
premises within mentioned and released.

Given under my Hand and Seal, this
day of
Anno Domini 19

(L. S.)
Notary Public of S. C.

D7850307

3300
165-2
State of South Carolina)
COUNTY OF RICHLAND }

DEED
(Individual)

Form No. 711
Rev. 10/77



REC'D - RICHLAND CO



KNOW ALL MEN BY THESE PRESENTS, That **CARL P. GODFREY, JR. AND KAREN M. GODFREY** (hereinafter called "Grantor"), for and in consideration of the sum of **ONE HUNDRED FIFTY THOUSAND AND NO/100 \$150,000.00** Dollars

to the Grantor in hand paid at and before the sealing of these presents, by **POLICY MANAGEMENT SYSTEMS** of **RICHLAND COUNTY**

(hereinafter called "Grantee") in the State aforesaid, (the receipt of which is hereby acknowledged) has granted, bargained, sold and released, and by these Presents does grant, bargain, sell and release, unto the Grantee, his heirs, successors and assigns:

ALL THAT CERTAIN PIECE, PARCEL OR LOT OF LAND WITH IMPROVEMENTS, THEREON, SITUATE, LYING AND BEING IN THE STATE OF SOUTH CAROLINA, COUNTY OF RICHLAND, NEAR THE CITY OF COLUMBIA CONTAINING ONE AND FIVE HUNDRED SIXTY-THREE THOUSAND (1.563) ACRES, AND BEING SHOWN AND DELINEATED AS TRACT "C" AS SHOWN ON A PLAT PREPARED FOR CARL P. GODFREY, JR., AND KAREN M. GODFREY BY BELTER & ASSOCIATES, INC., DATED JULY 10, 1978; TO BE RECORDED, AND HAVING THE FOLLOWING METES AND BOUNDS: COMMENCING AT AN IRON ON THE WESTERN SIDE OF U.S. HIGHWAY TWENTY-ONE (21) AND RUNNING S17 45'W FOR A DISTANCE OF TWENTY (20.0') FEET, THENCE TURNING AT AN IRON S81 04'W AND RUNNING FOR A DISTANCE OF FOUR HUNDRED THIRTY-NINE AND FORTY-TWO HUNDREDTHS (439.12') FEET, THENCE TURNING AT AN IRON AND RUNNING N34 30'W FOR A DISTANCE OF TWO HUNDRED SIXTY-ONE AND NINE TENTHS (261.9') FEET, AND CONTINUING N34 30'W FOR A DISTANCE OF SIXTY (60') FEET, THENCE TURNING AT AN IRON AND RUNNING N78 50'E FOR A DISTANCE OF ONE HUNDRED (100.0') FEET, THENCE TURNING AT AN IRON AND RUNNING S75 11'E FOR A DISTANCE OF TWO HUNDRED ELEVEN AND TWO HUNDREDTHS (211.02') FEET, THENCE TURNING AT AN IRON AND RUNNING S03 35'W FOR A DISTANCE OF ONE HUNDRED TWENTY-ONE AND EIGHT TENTHS (121.8') FEET, THENCE TURNING AT AN IRON AND RUNNING S83 06'E FOR A DISTANCE OF TWO HUNDRED FORTY-SIX AND NINE TENTHS (246.9') FEET, THENCE TURNING AND RUNNING N86 12'E FOR A DISTANCE OF NINETY-FIVE AND EIGHT TENTHS (95.8') FEET, BACK TO THE POINT OF COMMENCEMENT, ALL MEASUREMENTS BEING A LITTLE MORE OR LESS.

DERIVATION: DEED BOOK 12476 AT PAGE 261
GRANTEE'S ADDRESS P.O. Box 10
Columbia, S.C. 29204

This conveyance is made subject to easements and restrictions of record and otherwise affecting the property.

TOGETHER with all and singular the Rights, Members, Hereditaments and Appurtenances to the Premises belonging, or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all and singular the premises before mentioned unto the Grantee, his Heirs, Successors and Assigns forever.

And the Grantor does hereby bind himself and his heirs, to warrant and forever defend all and singular the premises unto the Grantee, His Heirs, Successors, and Assigns against himself and his heirs and against every person whomsoever lawfully claiming or to claim the same, or any part thereof.

Any reference in this instrument to the singular shall include the plural, and vice versa. Any reference to one gender shall include the others, including the neuter. Such words of inheritance shall be applicable as are required by the gender of the Grantee.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal.

Date: DECEMBER 5, 1986

Signed, Sealed and Delivered

In Presence of:

Edward C. Ingley
Belle Wilson

Carl P. Godfrey, Jr. (Seal)
Karen M. Godfrey (Seal)

State of South Carolina }
COUNTY OF RICHLAND }

PROBATE

PERSONALLY appeared before me the undersigned witness, who, being duly sworn, says that (s)he saw the within-named Grantor sign, seal and deliver the within Deed; and that (s)he with the other witness whose signature appears above witnessed the execution thereof.

SWORN to before me (date) DECEMBER 5, 1986

Edward C. Ingley (Seal)
Notary Public for South Carolina

Belle Wilson
(Witness)

My Commission expires: 5-22-90

State of South Carolina }
COUNTY OF _____ }

RENUNCIATION OF DOWER

I, the undersigned Notary Public, do hereby certify unto all whom it may concern that the undersigned wife of the within named Grantor did this day appear before me and, upon being privately and separately examined by me, did declare that she does freely, voluntarily and without any compulsion, dread or fear of any person or persons whomsoever, renounce, release and forever relinquish unto the within named Grantee his heirs, successors and assigns, all her interest and estate and also her right and claim of dower in or to all and singular the premises described herein.

SWORN to before me (date) _____

(Seal)

(Wife of Grantor)

Notary Public for South Carolina
My Commission expires: _____

Lewis, Lewis, Bruce & Truslow, P.A.
P. O. BOX 11716
COLUMBIA, S. C. 29211

State of South Carolina
COUNTY OF RICHLAND

Carl P. Godfrey, Jr. and
Karen M. Godfrey
Grantor

TO
Policy Management Systems

(include mailing address) Grantee

DEED
(Individual)

Filed this Dec 9 day of Dec, 1986.
at 11:40 o'clock A M.
and recorded in Deed Book 100 at page 122
Clara R. Bennett
R.M.C./Clerk of Court

Recorded this _____ day of _____, 19____

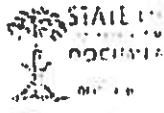
in _____ Page _____
Auditor _____ County _____

State of South Carolina }
COUNTY OF }

8994 U0820 PAGE 729

DEED
(Individual)

883.3.
11/13/68



KNOW ALL MEN BY THESE PRESENTS, That **Cora Lee Sribneck**

(hereinafter called "Grantor"), for and in consideration of the sum of

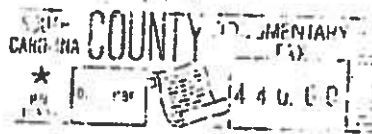
\$400,000⁰⁰ Dollars

to the Grantor in hand paid at and before the sealing of these presents, by **Policy Management Systems** of

(hereinafter called "Grantee") in the State aforesaid, (the receipt of which is hereby acknowledged) has granted, bargained, sold and released, and by these Presents does grant, bargain, sell and release, unto the Grantee, his heirs, successors and assigns:

ALL THAT CERTAIN PIECE, PARCEL AND TRACT OF LAND, WITH THE IMPROVEMENTS THEREON, SITUATE, LYING AND BEING ON THE WEST SIDE OF U.S. HIGHWAY NO. 21, ABOUT 9 MILES NORTH OF THE CITY OF COLUMBIA, IN THE COUNTY OF RICHLAND, STATE OF SOUTH CAROLINA, CONTAINING 9.83 ACRES, MORE OR LESS, AND BEING MORE PARTICULARLY SHOWN AND DELINEATED AS TRACT C ON A PLAT PREPARED FOR E. W. WOOTEN BY MCMILLAN ENGINEERING CO., APRIL 27, 1956, SAID TRACT MEASURING AND BEING BOUNDED AS FOLLOWS: ON THE NORTH AND NORTHWEST BY TRACT B AS SHOWN ON SAID PLAT, WHEREON IT MEASURES IN AN IRREGULAR LINE 1059.4 FEET, MORE OR LESS, AS SHOWN ON SAID PLAT; ON THE EAST BY U.S. HIGHWAY NO. 21 WHEREON IT FRONTS 608 FEET, MORE OR LESS AS SHOWN ON SAID PLAT; ON THE SOUTH BY TRACT D WHEREON IT MEASURES 460.7 FEET, MORE OR LESS, AS SHOWN ON SAID PLAT; AND ON THE WEST BY OTHER LANDS OF E. W. WOOTEN WHEREON IT MEASURES 389.8 FEET, MORE OR LESS, AS SHOWN ON SAID PLAT.

LESS THAT CERTAIN 1.503 ACRE OF LAND CONVEYED TO CARL P. GODFREY, JR. AND KAREN M. GODFREY, BY DEED OF GRANTOR HEREIN.



This conveyance is made subject to easements and restrictions of record and otherwise affecting the property.

TOGETHER with all and singular the Rights, Members, Hereditaments and Appurtenances to the Premises belonging, or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all and singular the premises before mentioned unto the Grantee, his Heirs, Successors and Assigns forever.

And the Grantor does hereby bind himself and his heirs, to warrant and forever defend all and singular the premises unto the Grantee, His Heirs, Successors, and Assigns against himself and his heirs and against every person whomsoever lawfully claiming or to claim the same, or any part thereof.

Any reference in this instrument to the singular shall include the plural, and vice versa. Any reference to one gender shall include the others, including the neuter. Such words of inheritance shall be applicable as are required by the gender of the Grantee.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal.

Date: DECEMBER 5th, 19 86

Signed, Sealed and Delivered

in Presence of:

[Handwritten signatures of witnesses]

Cora Lee Sribneck
CORALEE SRIBNECK

_____(Seal)
_____(Seal)

State of South Carolina } PROBATE
COUNTY OF RICHLAND

PERSONALLY appeared before me the undersigned witness, who, being duly sworn, says that (s)he saw the within-named Grantor sign, seal and deliver the within Deed; and that (s)he with the other witness whose signature appears above witnessed the execution thereof.

SWORN to before me (date) _____

[Handwritten signature] _____ (Seal)

Notary Public for South Carolina
My Commission expires: 8-31-91

[Handwritten signature]
(Witness)

State of South Carolina } RENUNCIATION OF DOWER
COUNTY OF _____

I, the undersigned Notary Public, do hereby certify unto all whom it may concern that the undersigned wife of the within named Grantor did this day appear before me and, upon being privately and separately examined by me, did declare that she does freely, voluntarily and without any compulsion, dread or fear of any person or persons whomsoever, renounce, release and forever relinquish unto the within named Grantee (s) heirs, successors and assigns, all her interest and estate and also her right and claim of dower in or to all and singular the premises described herein.

SWORN to before me (date) _____

_____(Seal)
Notary Public for South Carolina
My Commission expires: _____

(Wife of Grantor)

Lewis, Lewis, Brund & Truslow, P.A.
P. O. BOX 11716
COLUMBIA, S. C. 29211
State of South Carolina
COUNTY OF Richland

Cora Lee Sribneck
Grantor

TO
Policy Management Systems
(include mailing address)
Grantee

DEED
(Individual)

Filed this _____ day of _____, 19 86.
at 12:11 o'clock, P.M.
and recorded in Deed Book 1200 at page 730
Cora Lee Sribneck
Grantor
Richland County, S. C.

Recorded this _____ day of _____, 19 ____.
in _____ Page _____
Auditor _____ County _____

24.00
13.20

D 591 REC 957

TITLE TO REAL ESTATE FROM TO BE
CANNOT BE APPLIED UNDER THIS ACT

The State of South Carolina,

COUNTY OF RICHLAND

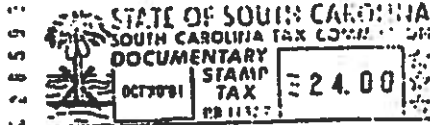
31 11 '81



LET ALL MEN KNOW ALL MEN BY THESE PRESENTS, TH

AFFIDAVIT

V. E. BARNETT



in the State aforesaid, for and in consideration of the sum of FIVE (\$5.00) DOLLARS and of valuable consideration

XXXXXXXXXXXX to me in hand paid at and before the sealing of these presents

POLICY MANAGEMENT SYSTEMS CORPORATION, A SOUTH CAROLINA CORPORATION
P. O. Box 2545, Columbia, South Carolina 29202

in the State aforesaid, the receipt whereof is hereby acknowledged, have granted, bargained, sold and release by these presents do grant, bargain, sell and release unto said

POLICY MANAGEMENT SYSTEMS CORPORATION,
A SOUTH CAROLINA CORPORATION,
ITS SUCCESSORS OR ASSIGNS:

All that certain piece, parcel or tract of land, containing 2.00 acres, located North of the City of Columbia, South Carolina, on the eastern side of the right-of-way of Highway I-77, just North of its intersection with U. S. Highway No. 21, said parcel being bounded and described as follows: Commencing at a right-of-way monument located on the eastern side of the right-of-way of Highway I-77 and running along said right-of-way North 24°26'50" W for 250.00 feet to an iron; thence turning and running North 83°32'15"E along property, now or formerly, of V. E. Barnett for 406.46 feet to an iron; thence turning and running South 03°32'26"W along property, now or formerly, of Policy Management Systems Corporation, for a distance of 273.04 feet to an iron; thence turning and running South 89°50'09" W for 283.55 feet along property, now or formerly, of Policy Management Systems Corporation, to the point of commencement. The within described parcel is more particularly shown on plat prepared for Policy Management Systems Corporation, by Ralph O. Vanadore R.L.S., of Leon Campbell and Associates, Inc., dated May 5, 1981 revised June 23, 1981, and revised September 28, 1981, recorded in Plat Book 2, page 1361, R.M.C. Office for Richland County, South Carolina.

The above described parcel of land is carved from a larger tract conveyed to Grantor herein by Deed of J. R. Creech dated April 6, 1956, recorded April 9, 1956 in Deed Book 183, page 184 Office of the R.M.C. for Richland County, S. C.

D 591 REC 957

D 591 PAGE 958

Together with all and singular the Rights, Members, Hereditaments and Appurtenances to the said Premises belonging, or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all and singular the said Premises before mentioned unto the said Policy Management Systems Corporation, A South Carolina Corporation,
its successors or

Myself and Assigns forever,
and I do hereby bind my Heirs, Executors and Administrators, to warrant and forever defend all and singular the said Premises unto the said Policy Management Systems Corporation, A South Carolina Corporation,
its successors or

Myself and Assigns, against me and my Heirs and any person or persons whomsoever lawfully claiming or to claim the same, or any part thereof.

WITNESS my Hand and Seal this 28th day of October,
in the year of our Lord one thousand nine hundred and eighty-one

Signed, Sealed and Delivered
in the Presence of

Edward D. Talley
[Signature]

V. E. Barnett
V. E. Barnett

(SEAL)

(SEAL)

D 591 PAGE 958

THE STATE OF SOUTH CAROLINA,
Fairfield County.

AFFIDAVIT OR PROBATE

PERSONALLY APPEARED before me Rayward Mattox
(Insert Name of Subscribing Witness Sworn)

and made oath that he saw the within named V. E. Barnett
(He or She) (Insert Name of Grantor)

sign, seal, and as his Act and Deed, deliver the within written Deed;
(His, Her or Their)

and that he with J. H. Crumpton
(He or She) (Insert Name of Other Witness)

witnessed the execution thereof.

SWORN TO before me this 28th
day of October, 1981

(SEAL) [Signature]
(Signature of Officer)

Rayward Mattox
(Signature of Witness Sworn)

Notary Public of _____
(Insert Title)
My Commission expires: 3/21/89

THE STATE OF SOUTH CAROLINA,
Fairfield County.

RENUNCIATION OF DOWER

I, the subscribing officer, do hereby certify unto all whom it may concern that Mrs.

Sara B. Barnett
(Insert Name of Wife, Using Given Name)

the wife of the within named V. E. Barnett
(Insert Name of Grantor)

did this day appear before me, and, upon being privately and separately examined by me, did declare that she does
freely, voluntarily, and without any compulsion, dread or fear of any person or persons whomsoever, renounce, release
and forever relinquish unto the within named

Policy Management Systems Corporation, a South Carolina corporation, its
successors
(Insert Name of Grantor)

heirs and assigns, all her interest and estate, and also all her right and claim of dower of, in or to all and singular
the premises within mentioned and released.

GIVEN under my hand and Seal this 28th day of October, 19 81

(SEAL) [Signature]
(Signature of Officer)

Sara B. Barnett
(Wife Sign Here)

Sara B. Barnett

Notary Public of _____
(Insert Title)
My Commission expires: 3/21/89

IMPORTANT: If the deed is to be executed outside of South Carolina, the Grantor or Grantors must sign in presence of two (2) witnesses; both witnesses must sign; then one witness must go before a Notary Public who has a seal, or before the Clerk of a Court of record, and make and sign the affidavit or probate, the blank for which follows the deed; then the officer must sign and seal the joint.

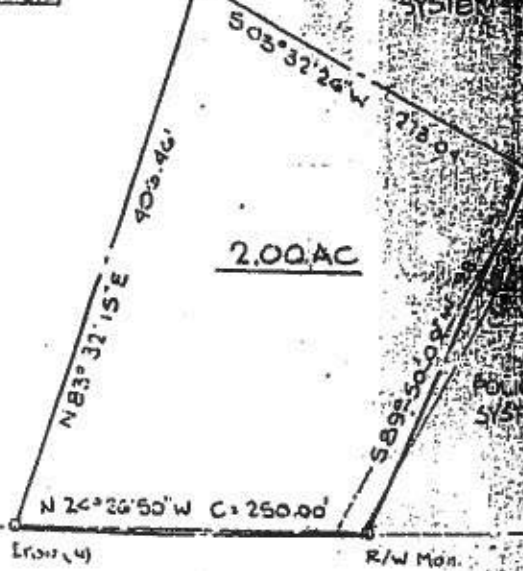
In the Renunciation of Dower, the wife's name (not the husband's) must be inserted in the blank, and she must sign her own name as Mary Smith, or Mrs. John Smith; then the officer must sign and seal the certificate. If taken outside of South Carolina, it must be by a Notary or Clerk of Court of record, with use of an impress seal.

If these directions be not strictly and literally followed, the deed will be valueless and cannot be recorded in South Carolina.
For deeds executed within the State, all these directions apply except that either officers can act and the impress seal is not essential.



FILED
 APR 30 4 51 PM '81
 DEPT. OF
 REGISTERED
 PLAT HARTIG (4)

N/F
 V. E. BARNETT



APPROVED FOR RECORDING

DATE APR 30, 1981

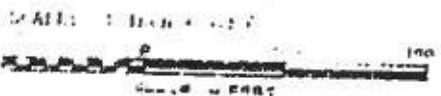
Vincent S. Hartig, Surveyor
 NAME TITLE

PLAT

PREPARED FOR

POLICY MANAGEMENT SYSTEMS CORPORATION

A 2.00 AC TRACT DIVIDED FROM THE LAND OF V. E. BARNETT
 IN RICHLAND COUNTY, SOUTH CAROLINA, NEAR THE
 BLUFFTON AREA NEAR THE BLUFFWOOD COMMUNITY



I HEREBY CERTIFY THAT THE RATIO OF PRECISION
 OF THE FIELD SURVEY IS 1/7,500 AS SHOWN
 ABOVE AND THE AREA WAS DETERMINED BY DMD
 METHOD

DRAWN BY ROM
 3/003

REY. HENRY
 RAY
 RALPH W. HARTIG



117-7085
58-85

D0884PAGE406

041288(67KK)
FT.PMSD

1988 APR 15 PM 3:56

GRANTEE'S ADDRESS: Post Office Box 10
Columbia, SC 29202



AFFIDAVIT
STATE OF SOUTH CAROLINA)
COUNTY OF RICHLAND)

LIMITED WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that FIRETOWER I-77 PARTNERS (hereinafter referred to as "Grantor"), for and in consideration of the sum of FIVE DOLLARS (\$5.00) and other valuable consideration, to it paid by POLICY MANAGEMENT SYSTEMS CORPORATION (hereinafter referred to as "Grantee"), the receipt of which is hereby acknowledged, has granted, bargained, sold and released, and by these presents does grant, bargain, sell and release unto the said Grantee, the following described property:

That certain parcel of land lying and being situate in Richland County, South Carolina, near the Town of Blythewood, being shown and designated as Parcel "B" containing 4.43 acres on a Plat prepared for Firetower I-77 Partners by William Wingfield, P.L.S., dated March 9, 1988, recorded in the Office of the RMC for Richland County in Plat Book 52, at page 938, said Plat being incorporated herein by reference, said Parcel being more particularly described as follows:

Beginning at an iron at the southwesternmost corner of Parcel "B" whereat said Parcel corners with property of Policy Management Systems along the eastern boundary of the right of way of Interstate Highway I-77, and running along said right of way as follows: in a curve to the right having an arc distance of 231.21 feet, the chord of which runs N23°56'56"W for a distance of 231.20 feet to a monument; in a curve to the right having an arc distance of 228.34 feet, the chord of which runs N22°41'12"W for a distance of 228.63 feet to an iron; thence turning and running along Parcel "A" S28°15'11"E for a distance of 594.99 feet to an iron; thence turning and running along property of Policy Management Systems S01°44'49"W for a distance 345.72 feet to an iron; thence turning and continuing along said property S81°43'00"W for a distance of 406.37 feet to the iron at the POINT OF BEGINNING.

This being a portion of the property conveyed to Firetower I-77 Partners by Sara B. Barnett, Verlin E. Barnett, Jr., Louise B. Beha, and William J. Barnett, Individually, and William J. Barnett, as Executor of the Estate of V.E. Barnett by Deed dated April 8, 1988 recorded in the Office of the RMC for Richland County in Deed Book 684 at page 404.

TOGETHER with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

D0884PAGE406

STATE OF SOUTH CAROLINA
COUNTY OF RICHLAND
APR 15 1988
R6

THIS CONVEYANCE is made subject to easements, conditions and restrictions of record.

TO HAVE AND TO HOLD all and singular the premises before mentioned unto the said Grantee, its successors and assigns forever.

AND Grantor does hereby bind itself, its successors and assigns, to warrant and forever defend all and singular the said premises unto the said Grantee, its successors and assigns, against itself and its successors and assigns, lawfully claiming, or to claim, the same or any part thereof.

WITNESS Grantor's hand and seal this 12 day of April, 1988.

WITNESSES:

FIRETOWER I-77 PARTNERS, a South Carolina General Partnership

BY ITS GENERAL PARTNERS

EDENS BARNETT PARTNERS

James H. Mitchell
John O. Mullike

By: [Signature] (SEAL)
Joe Edens, Managing Partner

By: [Signature] (SEAL)
Lloyd M. Kapp, Managing Partner

FOOD SERVICE, INC. (SEAL)

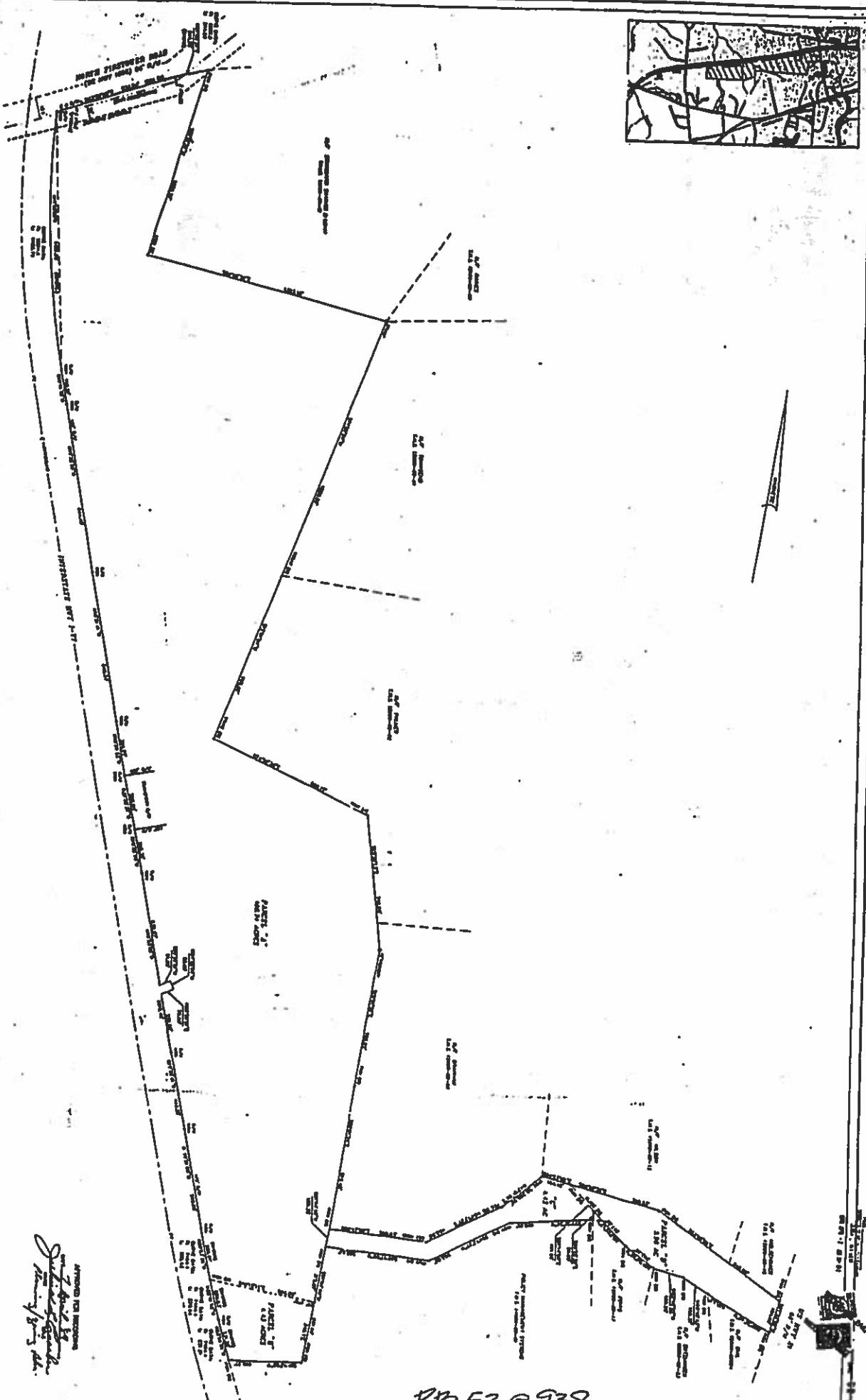
John W. Lane
Monique C. Campbell

By: [Signature]
A. Eugene Rountree, President

S.W.B., INC. (SEAL)

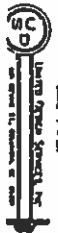
John O. Mullike
Karen D. Moul

By: [Signature]
S. Wyman Boozer, President



APPROVED FOR RECORD
[Signature]
DATE: 1/15/88

DATE: 1/15/88
FIRE TOWER 1-77 PARTNERS
SUNBELT ENERGY SERVICES, INC.
10000 W. CENTRAL EXPRESSWAY
DALLAS, TEXAS 75243



PB 52 e 938

Exchange for Parcel D on 8/11/88

912
5/12

Five Dollars

117.70 \$
51.50

041288(8276)
PMS.FTB
REC'D
JAN 11 1988
1988 APR 15 PM 3:53

DO884PAGE 404

GRANTEE'S ADDRESS: Post Office Box 528
Columbia, SC 29202

AFFIDAVIT

STATE OF SOUTH CAROLINA)
COUNTY OF RICHLAND)

LIMITED WARRANTY DEED



KNOW ALL MEN BY THESE PRESENTS, that POLICY MANAGEMENT SYSTEMS CORPORATION (hereinafter referred to as "Grantor"), for and in consideration of the sum of FIVE DOLLARS (\$5.00) and other valuable consideration, to it paid by FIRETOWER I-77 PARTNERS (hereinafter referred to as "Grantee"), the receipt of which is hereby acknowledged, has granted, bargained, sold and released, and by these presents does grant, bargain, sell and release unto the said Grantee, the following described property:

That certain parcel of land lying and being situate in Richland County, South Carolina, near the Town of Blythewood, being shown and designated as Parcel "C" containing 4.43 acres on a Plat prepared for Firetower I-77 Partners by William Wingfield, P.L.S., dated March 9, 1988, said Plat being incorporated herein by reference, said Parcel being more particularly described as follows.

To find the point of beginning, commence at an iron along the western boundary of the right-of-way of U.S. Highway 21 which iron marks the southeastermost corner of Parcel "D" and the northeastermost corner of Property n/f Dial, and run along Property n/f Dial N68°36'48"W for a distance of 405.53 feet to an iron; thence turn and run along Property n/f Entzinger as follows: N66°48'43"W for a distance of 165.37 feet to an iron; N83°48'52"W for a distance of 169.50 feet to an iron; thence turn and run along Property n/f Fipps as follows: N61°50'25"W for a distance of 203.38 feet to an iron; N53°22'17"W for a distance of 267.87 feet to a blade which marks the POINT OF BEGINNING. Thence, commencing at the aforesaid Point of Beginning and running along Property n/f Fipps S09°25'32"E for a distance of 50.00 feet to an iron; thence turning and running along Property of Policy Management Systems from iron to iron as follows: S77°31'34"W - 460.02 feet; S54°12'27"W - 503.06 feet; S86°47'00"W - 588.53 feet; thence turning and running along Parcel "A" N01°44'49"E (shown on Plat as South by West) for a distance of 100.38 feet to an iron; thence turning and running along Property n/f Branham as follows N86°47'00"E for a distance of 550.63 feet to an iron; N54°12'27"E for a distance of 463.90 feet to a peg; N42°11'06"E for a distance of 285.96 feet to an iron; thence turning and running along Property n/f Wilson S84°23'05"E for a distance of 164.16 feet to an iron; thence turning and running along Parcel "D" S51°14'00"E for a distance of 191.96 feet to the POINT OF BEGINNING.

✓ This being a portion of the property conveyed to Grantor by the following deeds: Deed of Ralston B. Vanzant, II, dated

STATE OF SOUTH CAROLINA
DOCUMENTARY
SALE TAX
COMMISSION
11770

June 15, 1983, recorded June 18, 1983, in Deed Book D651, at page 816; Deed of G. Raymond McElveen, Sr. dated October 29, 1981, recorded November 6, 1981, in Deed Book D592, at page 650.

TOGETHER with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

THIS CONVEYANCE is made subject to easements, conditions and restrictions of record.

TO HAVE AND TO HOLD all and singular the premises before mentioned unto the said Grantee, its successors and assigns forever.

AND Grantor does hereby bind itself, its successors and assigns, to warrant and forever defend all and singular the said premises unto the said Grantee, its successors and assigns, against itself and its successors and assigns, lawfully claiming, or to claim, the same or any part thereof.

WITNESS Grantor's hand and seal this 14 day of April, 1988.

WITNESSES:

Lynn W. Dillard
David G. Dugan

POLICY MANAGEMENT SYSTEMS CORPORATION
(SEAL)

By: [Signature]
Robert L. Gresham, Executive
Vice President

ATTEST: [Signature]
Calhoun Thomas, III,
Assistant Secretary

STATE OF SOUTH CAROLINA)
)
COUNTY OF RICHLAND)

PROBATE

PERSONALLY APPEARED before me, the undersigned witness, who being duly sworn, deposes and says that (s)he saw the within-named POLICY MANAGEMENT SYSTEMS CORPORATION by Robert L. Gresham, its Executive Vice President. Attested by Calhoun Thomas, III, its Assistant Secretary, sign, seal and, as its act and deed, deliver the within-written Deed for the uses and purposes therein mentioned; and that (s)he with the other witness whose name appears above witnessed the execution thereof.

SWORN to before me this
14th day of April, 1988

Lynn W. Dillard (SEAL)
Notary Public for South Carolina
Commission Expires: 4/1/95

David G. Dugan

State of South Carolina,
COUNTY OF RICHLAND.

WHEREAS, Will W. Entzinger departed this life June 5th, 1949, intestate, seized and possessed of fifty-two (52) acres of land, more or less, in upper Richland County and the State of South Carolina, and,
WHEREAS, Will W. Entzinger left as his sole heirs at law four married sons, namely: Wilburn Entzinger, Walter Entzinger, Colie Entzinger and Warren Entzinger, and one married daughter, namely, Ola May E. Marsh, all of these heirs being at this date more than 21 years of age, and,
WHEREAS, it is the desire of these tenants in common to partition this land, so therefore,

Know All Men by These Presents, That We, Wilburn Entzinger, Walter Entzinger, Colie Entzinger and Warren Entzinger,

FILED
MAR 17 12 12 PM '51
C. E. HINNANT
C. C. P. & G. S.
RICHLAND COUNTY, S. C.

in the State aforesaid, for and in consideration of the sum of One (\$1.00) Dollar and the conveyance by similar deed to each of us of our share in our father's estate, to us paid by Ola May E. Marsh

in the State aforesaid, receipt of which is hereby acknowledged, have granted, bargained, sold and released, and by these presents do grant, bargain, sell and release unto the said

OLA MAY E. MARSH, HER HEIRS AND ASSIGNS FOR EVER:

All that piece, parcel or tract of land situate, lying and being on the western side of U. S. Highway 21 about thirteen miles north of the City of Columbia, in the County of Richland, State of South Carolina, containing nine and three quarters (9-3/4) acres, more or less, and being more fully shown and designated on a plat of 9-3/4 acres surveyed for Mrs. Ola May Marsh, by Jas. O. Covington, C. E., February 1st, 1928, and bounded as follows: on the North by lands of Wilburn Entzinger, measuring thereon 1,385 feet, more or less; on the East by U. S. Highway #21, measuring thereon 32 feet, more or less; on the South by lands formerly of Floyd Entzinger, measuring thereon 1,360 feet, more or less; and on the West by lands of L. A. Marsh, measuring thereon 600 feet, more or less; this being a portion of the land heretofore conveyed to Will W. Entzinger by W. L. Entzinger, et al, by deed dated 5th March, 1913, and to be recorded in the office of the Clerk of Court for Richland County.

It is agreed and understood that as a part of the consideration for this conveyance, Colie Entzinger is to have the use of the above described property through December 31, 1951.

TOGETHER with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

To HAVE AND TO HOLD all and singular the premises before mentioned unto the said

Ola May E. Marsh, her

Heirs and Assigns forever.

And We do hereby bind ourselves and our Heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said

Ola May E. Marsh, her

Heirs and Assigns, against us and our Heirs and against every person whatsoever lawfully claiming, or to claim, the same or any part thereof.

WITNESS our Hand and Seal, this 17th day of March

in the year of our Lord one thousand nine hundred and fifty-one

and in the one hundred and seventy-fifth year of the Sovereignty

and Independence of the United States of America.

SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF

[Handwritten signatures: Fred L. Hiers]

[Handwritten signatures with seals: Wilburn Entzinger, Walter Entzinger, Colie Entzinger, Warren Entzinger]

STATE OF SOUTH CAROLINA,

Richland County.

PERSONALLY appeared before me **Edna Haskell**

and made oath that he saw the within-named Wilburn, Walter, Colie and Warren Entzinger sign, seal and, as their act and deed, deliver the within-written Deed for the uses and purposes therein mentioned, and that he, with Fred L. Hiers, witnessed the execution thereof.

SWORN to before me this 17th day of

March 1951.

[Handwritten signature: Edna Haskell]
Notary Public of S. C.

[Handwritten signature: Fred L. Hiers]

STATE OF SOUTH CAROLINA,

Richland County.

RENUNCIATION OF DOWER

I, **Edna Haskell**, Notary Public for South Carolina, do hereby certify unto all whom it may concern, that Mrs. **Dochia N. Entzinger**

the wife of the within-named **Wilburn Entzinger**

did this day appear before me, and upon being privately and separately examined by me, did declare that she does freely, voluntarily and without any compulsion, dread, or fear of any person or persons whatsoever, renounce, release and forever relinquish unto the within-named **Ola May E. Marsh, her**

heirs and assigns, all her interest and estate, and also all her right and claim of Dower of, in or to all and singular the premises within mentioned and released.

Given under my Hand and Seal, this 17th

day of March

Anno Domini 1951

[Handwritten signature: Edna Haskell]
Notary Public of S. C.

[Handwritten signature: Doria N. Entzinger]

STATE OF SOUTH CAROLINA,
COUNTY OF RICHLAND.

I, S. Rhea Haskell, Notary Public for South Carolina, do hereby certify unto all whom it may concern, that Mrs. Estelle C. Entzinger, the wife of the within named Walter Entzinger, did this day appear before me, and upon being privately and separately examined by me, did declare that she does freely, voluntarily and without any compulsion, dread, or fear of any person or persons whomsoever, renounce, release and forever relinquish unto the within named Ola May E. Marsh, her heirs and assigns, all her interest and estate, and also all her right and claim of Dower of, in or to all and singular the premises within mentioned and released.

Estelle C. Entzinger

Given under my Hand and Seal,
this 17 day of March, 1951.

(L.S.)
Notary Public of South Carolina.

STATE OF SOUTH CAROLINA,
COUNTY OF RICHLAND.

I, S. Rhea Haskell, Notary Public for South Carolina, do hereby certify unto all whom it may concern, that Mrs. Estelle C. Entzinger, the wife of the within named Collie Entzinger, did this day appear before me, and upon being privately and separately examined by me, did declare that she does freely, voluntarily and without any compulsion, dread, or fear of any person or persons whomsoever, renounce, release and forever relinquish unto the within named Ola May E. Marsh, her heirs and assigns, all her interest and estate, and also all her right and claim of Dower of, in or to all and singular the premises within mentioned and released.

Mrs. Estelle C. Entzinger

Given under my Hand and Seal,
this 17 day of March, 1951.

(L.S.)
Notary Public of South Carolina.

State of South Carolina

County of Richland.

Wilburn Entzinger, Walter Entzinger, Collie Entzinger and Warren Entzinger,

To

Ola May E. Marsh.

TITLE TO REAL ESTATE

I hereby certify that the within Deed was filed for record in my office at 12:12 P.M. o'clock on the 17 day of March

1951 and was immediately entered up in the proper

Book 70

page 312

MAR 17 1951

M. Mobley, Clerk of Court

County, S. C.

I hereby certify that the within Deed has been

this day of

Recorded

in Book of Deeds, page

for Auditor County

STATE OF SOUTH CAROLINA,
COUNTY OF RICHLAND.

I, S. Rhea Haskell, Notary Public for South Carolina, do hereby certify unto all whom it may concern, that Mrs. Irene P. Entzinger, the wife of the within named Warren Entzinger, did this day appear before me, and upon being privately and separately examined by me, did declare that she does freely, voluntarily and without any compulsion, dread, or fear of any person or persons whomsoever, renounce, release and forever relinquish unto the within named Ola May E. Marsh, her heirs and assigns, all her interest and estate, and also all her right and claim of Dower of, in or to all and singular the premises within mentioned and released.

Mrs. Irene P. Entzinger

Given under my Hand and Seal
this 17 day of March, 1951.

(L.S.)
Notary Public for South Carolina.

275.60
107.80

D0879 PAGE 432

FORM NO 117 TITLE TO REAL ESTATE TO A CORPORATION
REVISED 1961

COLUMBIA OFFICE: 500 N. G. COLUMBIA, S. C.

THE STATE OF SOUTH CAROLINA,
COUNTY OF RICHLAND

MAR 11 1988 4:50



KNOW ALL MEN BY THESE PRESENTS, THAT

Ruby Jean Burley Mitchell, the Grantor (Formerly, Ruby Jean Burley)

in the State aforesaid for and in consideration of the sum of Ninety Eight Thousand (\$98,000.00) Dollars,

to me in hand paid at and before the sealing and delivery of these Presents, by Policy Management Systems Corporation

in the State aforesaid (the receipt whereof is hereby acknowledged),

have granted, bargained, sold and released, and by these Presents do grant, bargain, sell and release unto the said

POLICY MANAGEMENT SYSTEMS CORPORATION, ITS SUCCESSORS AND ASSIGNS:

All that certain piece, parcel or tract of land, with improvements thereon, situate, lying and being on the northern side of Hell Valley Road, approximately 13 miles north of the City of Columbia, County of Richland, State of South Carolina, being more particularly shown and designated as 1.04 acres on plat prepared for Policy Management Systems by Cox & Dinkins, Inc. Engineers and Surveyors dated March 1, 1988, to be recorded, and according to said plat, having the following metes and bounds, to-wit: Beginning at an iron on the northern edge of the right-of-way of Hell Valley Road, approximately 618.8 feet west of its intersection with U. S. Highway No. 21, thence running along the northern edge of the right-of-way of Hell Valley Road, North 85°17' West for a distance of 99.82 feet to an iron; thence turning and running along the northern edge of the right-of-way of Hell Valley Road South 87°29' West for a distance of 108.95 feet to an iron; thence turning and running North 07°30' West for a distance of 196.80 feet to an iron; thence turning and running North 87°26' East for a distance of 245.00 feet to an iron; thence turning and running South 02°56' West for a distance of 209.77 to the point of beginning, be all measurements a little more or less.

This being the identical property heretofore conveyed to Ruby Jean Burley by deed of Ola Mae E. Marsh, recorded in the Richland County RMC Office on October 7, 1975, in Deed Book D361, Page 772.

Grantee's Address: P. O. Box 10, Columbia, SC 29202

STATE OF SOUTH CAROLINA
RICHLAND COUNTY
DOCUMENTARY STAMP
MAR 11 1988
FAX 215 60

TOGETHER with all and singular the Rights, Members, Hereditaments and Appurtenances to the said Premises belonging, or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all and singular, the said premises before mentioned, unto the said

Policy Management Systems Corporation,

its successors and assigns forever.

And I do hereby bind myself and my Heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said Policy Management Systems Corporation

its successors and assigns against me and my Heirs lawfully claiming, or to claim the same or any part thereof.

WITNESS my Hand and Seal, this 7th day of March in the year of our Lord one thousand nine hundred and eighty eight, and in the two hundred and twelfth year of the Sovereignty and Independence of the United States of America.

Signed, Sealed and Delivered in the Presence of

Robert R. Hallman
Edmond K. Butler III

Ruby J. Burley Mitchell (L. S.)
RUBY J. BURLEY MITCHELL (L. S.)

(L. S.)

THE STATE OF SOUTH CAROLINA, }
RICHLAND COUNTY.

PERSONALLY appeared before me. Robert C. Hallman
and made oath that saw the within-named Ruby J. Burley Mitchell
sign, seal, and as her act and deed deliver the
within-written Deed, and that he with Edward K. Butler, III
witnessed the execution thereof.

SWORN to before me, this

7 day of March, A. D. 1988

Margaret W. Brown
Notary Public of S. C.

Robert C. Hallman (Seal)

My Commission Expires: 9.12.97

THE STATE OF SOUTH CAROLINA, }
COUNTY.

RENUNCIATION OF DOWER
NOT NECESSARY

I, _____ do her-by certify
unto all whom it may concern, that Mrs. _____
wife of the within-named _____ did this day
appear before me, and upon being privately and separately examined by me, did declare that she does freely, voluntarily,
and without any compulsion, dread, or fear of any person or persons whomsoever renounce, release and forever relinquish
unto the within-named _____

its successors and assigns, all her interest and estate, and also all her right and claim of Dower, of, in, or to all and
singular the premises within mentioned and released.

Given under my Hand and Seal, this _____ day of _____
Anno Domini 19 _____

(L. S.)

(Seal)
Notary Public of S. C.

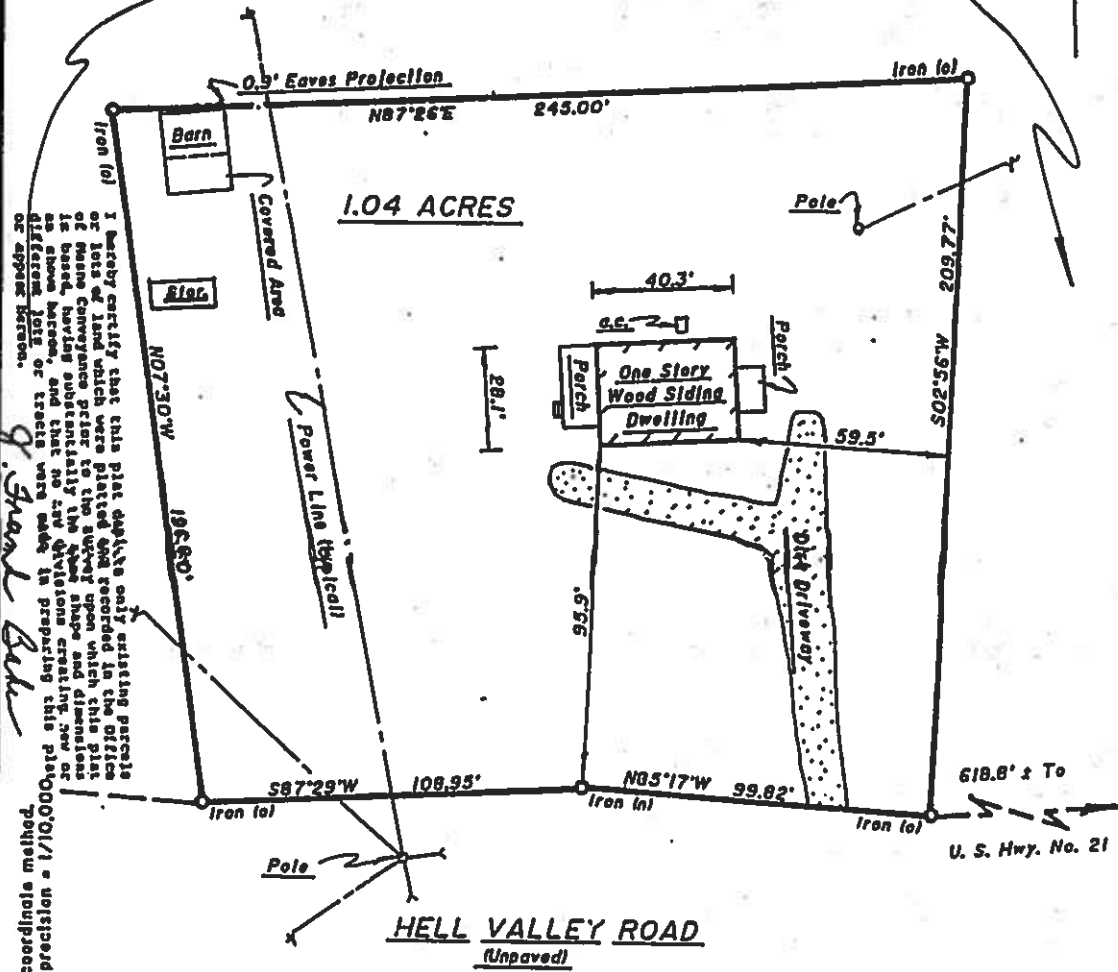


REGISTRATION OF PLATS OF PROPERTY

1988 MAR -7 PII 4: 51

MAGNETIC

NOW OR FORMERLY POLICY MANAGEMENT SYSTEMS



I hereby certify that this plat depicts only existing parcels or lots of land which were plotted and recorded in the office of Mesne Surveyors to the survey upon which this plat is based, having and that no new divisions creating new or different lots or tracts were made in preparing this plat or appear herein.

J. Frank Baku
 Registered Land Surveyor

NOTES:
 Area by coordinate method.
 Ratio of precision = 1/10,000

PLAT PREPARED FOR

POLICY MANAGEMENT SYSTEMS

RICHLAND COUNTY, NEAR BLYTHEWOOD, S. C.
 THE SAME BEING SHOWN ON PLAT OF PROPERTY OF RUBY JEAN BURLEY, BY TETTERTON & RIDDICK SURVEYORS, DATED OCTOBER 1, 1975, AND RECORDED IN THE OFFICE OF REGISTER OF MESNE CONVEYANCE FOR RICHLAND COUNTY IN PLAT BOOK "X", PAGE 4410.

MARCH 1, 1988

COX and DINKINS, INC.
 ENGINEERS • SURVEYORS
 614 HOLLY STREET; COLUMBIA, S. C. - 29205



I HEREBY CERTIFY THAT THE MEASUREMENTS AS SHOWN ON THE ABOVE PLAT ARE CORRECT AND THAT THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

I HEREBY CERTIFY THAT I HAVE CONSULTED THE FEDERAL INSURANCE ADMINISTRATION FLOOD INSURANCE RATE MAP; AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SUBJECT PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD ZONE A, B OR V.

J. Frank Baku
 REG. LAND SURVEYOR
 NO. 10739

U.S. MAIL PERMIT NO. 150 R/W

of Mesne Conveyance prior to the survey upon which this plat is based, and that no divisions creating new or different lots or tracts were made in preparing this plat or appear herein.

J. Frank Baku
 Registered Land Surveyor

1500.00
125.00

ED 651 PAGE 816

FORM NO. 117 - TITLE TO REAL ESTATE TO A CORPORATION
REVISED 1981
COLUMBIA OFFICE SUPPLY CO. COLUMBIA, S. C.

THE STATE OF SOUTH CAROLINA,
COUNTY OF RICHLAND



KNOW ALL MEN BY THESE PRESENTS, THAT

Ralston B. Vanzant, II

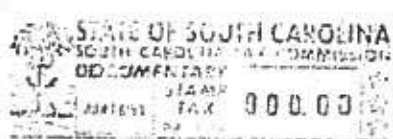
In the State aforesaid for and *In consideration of the sum of Seven Hundred Forty-Nine*
Thousand Seven Hundred Twenty and no/100 (\$749,720.00)-----Dollars

to me *in hand paid at and before the sealing and delivery of these Presents, by*
Policy Management Systems Corporation

In the State aforesaid (the receipt whereof is hereby acknowledged),
have granted, bargained, sold and released, and by these Presents do grant, bargain, sell and release unto the said

POLICY MANAGEMENT SYSTEMS CORPORATION,
its successors and assigns:

See Schedule A attached hereto and incorporated herein by reference



Grantee's address: P. O. Box 2545
Columbia, S. C. 29202



ED 651 PAGE 816

TOGETHER with all and singular the Rights, Members, Hereditaments and Appurtenances to the said Premises belonging, or in anywise incident or appertaining.

TO HAVE AND TO HOLD, of and singular, the said premises before mentioned, unto the said Policy Management Systems Corporation, its successors and assigns forever.

And I do hereby bind myself and my Heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said Policy Management Systems Corporation,

its successors and assigns against me and my Heirs lawfully claiming, or to claim the same or any part

hereof.

WITNESS my Hand and Seal, this 15 day of JUNE in the year of our Lord one thousand nine hundred and eighty-three, and in the two hundred and seventh year of the Sovereignty and Independence of the United States of America.

Signed, Sealed and Delivered in the Presence of

Chas. M. [Signature]
Allen M. [Signature]

[Signature] (L.S.)
Ralston B. Vanzant (L.S.)
(L.S.)

SCHEDULE A
Page 1 of 3

2/4942

All that certain piece, parcel or tract of land, with the improvements thereon, if any, situate, lying and being on the western side of U. S. Highway No. 21, in the County of Richland, State of South Carolina, containing 9.79 acres and being more particularly shown and delineated on a plat prepared for Ralston B. Vanzant, II, by Cox and Dinkins, Inc., Engineers and Surveyors, dated April 28, 1983, to be recorded, and, according to said plat, having the following metes and bounds, to-wit: Beginning at an iron on the western edge of the right-of-way of U. S. Highway No. 21, approximately 211.89 feet from its intersection with the center line of Hell Valley Road (16 foot dirt road) and running thence N88°04'W for a distance of 177.97 feet to an iron; thence turning and running N87°57'W for a distance of 297.5 feet to an iron; thence turning and running N89°08'W for a distance of 172.26 feet to an iron; thence turning and running N89°38'W for a distance of 207.66 feet to an iron; thence turning and running N10°28'W for a distance of 318.5 feet to an iron; thence turning and running S88°04'E for a distance of 1,448.42 feet to an iron on the western edge of the right-of-way of U. S. Highway No. 21; thence turning and running S06°35'W, along the western edge of said right-of-way, for a distance of 304.9 feet to the point of beginning; be all measurements a little more or less.

This being the identical property heretofore conveyed to the grantor herein by deed of George Entzminger dated May 4, 1983 and recorded in the Richland County RMC Office in Deed Book D-646, page 69.

ALSO:

2/4943

All that certain piece, parcel or tract of land, with the improvements thereon, situate, lying and being on the southern side of Hell Valley Road (16 foot dirt road) in the County of Richland, State of South Carolina, containing 6.65 acres, and being more particularly shown and delineated on a plat prepared for Ralston B. Vanzant, II, by Cox and Dinkins, Inc., Engineers and Surveyors, dated April 26, 1983, and according to said plat having the following metes and bounds, to-wit: Beginning at an iron on the center line of the right-of-way of Hell Valley Road, approximately 499.89 feet west of its intersection with U. S. Highway No. 21, and running thence S03°39'E for a distance of 324.05 feet to an iron; thence turning and running S86°17'W for a distance of 70.12 feet to an iron; thence turning and running S39°41'W for a distance of 539.59 feet to an iron; thence turning and running N38°47'W for a distance of 457.63 feet to an iron; thence turning and running N10°55'W for a distance of 128.91 feet to an iron; thence turning and running N67°49'E for a distance of 639.53 feet to an iron in the center line of the right-of-way of Hell Valley Road; thence continuing along said center line N88°47'E for a distance of 55.7 feet to an iron; thence continuing along said center line N73°11'E for a distance of 59.57 feet to the point of beginning; be all measurements a little more or less.

This being the identical property heretofore conveyed to the grantor herein by deed of Christopher B. Freeman and Donna N. Freeman dated May 4, 1983 and recorded in the Richland County RMC Office in Deed Book D-646 page 72.

ALSO:

2/4940

All that certain piece, parcel or tract of land, with the improvements thereon, if any, situate, lying and being in the County of Richland, State of South Carolina, containing 9.12 acres and more particularly shown and delineated on a plat prepared for Linda C. Maurer by James R. Polson, R.L.S., dated April 30, 1983, to be recorded, and, according to said plat, having the following metes and bounds, to-wit: Beginning at an iron on the northern edge of Entzminger Road, approximately 978.62 feet west of its intersection with the center line of U. S. Highway No. 21, and running thence N33°00'00"W, along property now or formerly of George Entzminger, for a distance of 508.25 feet to an eye-hook rod; thence turning and running N03°57'03"W for a distance of 638.22 feet to a #1 rebar; thence turning and running N49°18'03"E for a distance of 285.95 feet to an iron rod; thence turning and running S77°53'19"E, along a ditch, for a distance of 164.16 feet to an iron; thence turning and running S44°43'18"E, along a ditch for a distance of 192.00 feet to a scrape blade; thence turning and running S02°53'33"E for a distance of 715.29 feet to the point of beginning; be all measurements a little more or less.

This being the identical property heretofore conveyed to the grantor herein by deed of Linda Sue Creech Maurer, formerly Linda Sue Creech, dated May 4, 1983 and recorded in the Richland County RMC Office in Deed Book D-646, page

Z/4944

All that certain piece, parcel or tract of land, with the improvements thereon, situate, lying and being on the western side of U. S. Highway No. 21, in the County of Richland, State of South Carolina, containing 2.31 acres and being more particularly shown on a plat prepared for Raiston B. Vanzant, II by Cox and Dinkins, Inc., Engineers and Surveyors, dated April 28, 1983, to be recorded, and, according to said plat, having the following metes and bounds, to-wit: Beginning at an iron on the western edge of the right-of-way of U. S. Highway No. 21, approximately 1,050.97 feet from its intersection with the center line of Hell Valley Road (dirt road) and running thence S12°29'W along the western edge of the right-of-way of U. S. Highway No. 21, for a distance of 508.48 feet to an iron; thence turning and running N38°53'W along property now or formerly of E. W. Wooten, for a distance of 507.3 feet to an iron; thence turning and running N76°40'E, along property designated as Tract "C", as shown on a plat prepared for E. W. Wooten by McMillan Engineering Co., dated April 27, 1956, recorded in the Richland County R.M.C. Office in Plat Book 10, page 8, for a distance of 440.25 feet to the point of beginning, be all measurements a little more or less.

This being the identical property heretofore conveyed to the grantor herein by deed of Reece C. Johnson and Nancy F. Johnson dated May 4, 1983 and recorded in the Richland County RMC Office in Deed Book D-646, page 78.

ALSO:

A) that certain piece, parcel or tract of land, with the improvements thereon, situate, lying and being on the northern side of Hell Valley Road (16 foot dirt road), in the County of Richland, State of South Carolina, containing 3.55 acres and being more particularly shown and delineated on a plat prepared for Raiston B. Vanzant, II by Cox and Dinkins, Inc., Engineers and Surveyors, dated April 26, 1983, to be recorded, and, according to said plat, having the following metes and bounds, to-wit: Beginning at an iron near the northern side of the right-of-way of Hell Valley Road approximately 566.77 feet west of U. S. Highway No. 21, and running thence S66°49'W for a distance of 51.89 feet to an iron; thence turning and running N02°56'E for a distance of 209.77 feet to an iron; thence turning and running S87°26'W for a distance of 215.0 feet to an iron; thence turning and running S07°30'E for a distance of 196.8 feet to an iron; thence turning and running N85°38'W for a distance of 38.34 feet to an iron; thence turning and running N12°50'N for a distance of 330.85 feet to an iron; thence turning and running S87°57'E for a distance of 797.5 feet to an iron; thence turning and running S05°22'E for a distance of 121.03 feet to an iron; thence turning and running S67°56'W for a distance of 470.96 feet to the point of beginning, be all measurements a little more or less.

ALSO, all of my right, title and interest, if any, in and to the land shown as Hell Valley Road on the above plat or any part thereof or interest therein.

This being the identical property heretofore conveyed to the grantor herein by deed of Verlie Marsh Hathaway a/k/a Verlie Marsh Wymer Hathaway, dated May 5, 1983 and recorded in the Richland County RMC Office in Deed Book D-645, page 258.

ALSO:

All that certain piece, parcel or tract of land, with the improvements thereon, situate, lying and being on the northern side of Hell Valley Road, in the County of Richland, State of South Carolina, containing 3.41 acres, in the aggregate, and being more particularly shown and delineated on a plat prepared for Raiston B. Vanzant, II by Cox and Dinkins, Inc., Engineers and Surveyors, dated April 26, 1983, to be recorded, and, according to said plat, having the following metes and bounds, to-wit: Beginning at an iron on the northern edge of the right-of-way of Hell Valley Road, approximately 862.98 feet west of its intersection with U. S. Highway No. 21, and running thence S77°07'W for a distance of 142.47 feet to an iron; thence turning and running S70°25'W for a distance of 160.05 feet to an iron; thence turning and running S77°47'W for a distance of 81.98 feet to an iron; thence turning and running N11°53'W for a distance of 9.95 feet to an iron; thence turning and running N11°09'W for a distance of 229.09 feet to an iron; thence turning and running N10°56'W for a distance of 208.2 feet to an iron; thence turning and running S89°38'E for a distance of 207.66 feet to an iron; thence turning and running S89°08'E for a distance of 172.26 feet to an iron; thence turning and running S12°50'E for a distance of 330.85 feet to an iron; thence continuing S12°50'E for a distance of 10.0 feet to the point of beginning, be all measurements a little more or less.

ALSO, all of my right, title and interest, if any, in and to the land shown as Hell Valley Road on the above plat or any part thereof or interest therein.

This being the identical property heretofore conveyed to the grantor herein by deed of Verlie Marsh Hathaway a/k/a Verlie Marsh Wymer Hathaway, dated May 5, 1983 and recorded in the Richland County RMC Office in Deed Book D-646, page 261.

Z/4953

ALSO:

All that certain piece, parcel or tract of land, with the improvements thereon, situate, lying and being on the southern side of Hell Valley Road (16 foot dirt road), in the County of Richland, State of South Carolina, containing 1.27 acres and being more particularly shown and delineated on a plat prepared for Ralston B. Vanzant, II by Cox and Dinkins, Inc., Engineers and Surveyors, dated April 28, 1983, to be recorded, and according to said plat, having the following metes and bounds, to-wit: Beginning at an iron on the southern edge of the right-of-way of Hell Valley Road and running along said right-of-way N74°57'E for a distance of 84.71 feet to a point; thence turning and running N70°26'E for a distance of 160.05 feet to a point; thence turning and running N76°59'E for a distance of 102.84 feet to a point; thence turning and running N80°18'E for a distance of 90.03 feet to a point; thence turning and running N88°12'E for a distance of 80.02 feet to a point; thence turning and running S83°27'E for a distance of 99.32 feet to an iron; thence turning and running S67°49'W for a distance of 622.0 feet to an iron; thence turning and running N10°35'W for a distance of 132.0 feet to the point of beginning, be all measurements a little more or less.

ALSO: All of our right, title and interest, if any, in and to Hell Valley Road (16 foot dirt road), as shown on plat prepared for Ralston B. Vanzant, II by Cox and Dinkins, Inc. Engineers and Surveyors, dated April 28, 1983... to be recorded.

This being the identical property heretofore conveyed to the grantor herein by deed of Raul R. Stepp and Kathryn B. Stepp dated May 5, 1983 and recorded in the Richland County RMC Office in Deed Book D-646, page 254.

ALSO:

All that certain piece, parcel or tract of land containing four and thirteen hundredths (4.13) acres, more or less, together with the improvements thereon, situate, lying and being on the western side of U.S. Highway No. 21, near Blythewood, South Carolina in School District No. 2 of Richland County, State of South Carolina, being more particularly shown and delineated on that certain plat prepared for Ralston B. Vanzant, II by Cox and Dinkins, Inc., R.L.S. & Prof. Engineers, dated April 26, 1983, recorded in the Office of the Clerk of Court for Richland County, South Carolina in Plat Book Z at page 4952 and having the following boundaries and measurements as shown upon said plat, to-wit: On the North by the center line of Hell Valley Road, measuring thereon 499.89 feet, more or less; on the East by U.S. Highway No. 21, measuring thereon 434.56 feet, more or less; on the South by a tract shown as Tract C, measuring thereon 400.95 feet, more or less; on the Southwest by a Tract shown as Tract C, measuring thereon 27.49 feet, more or less, and on the West by a remaining portion of Tract C measuring thereon 324.05 feet, more or less.

This being the identical property heretofore conveyed to the grantor herein by deed of Bernhard F. Wollgast, Jr. and Lucille R. Wollgast dated May 5, 1983 and recorded in the Richland County RMC Office in Deed Book D-646, page 267.

THE STATE OF SOUTH CAROLINA,
RICHLAND COUNTY.

PERSONALLY appeared before me, CLAY D. BEYTRAIN, III
and made oath that he saw the within-named Ralston B. Vanzant, II
sign, seal, and as his act and deed deliver the
within-written Deed; and that he with ELLEN M LOWERY
witnessed the execution thereof.

SWORN to before me, this 15
day of JUNE, A. D. 19

Clay D. Beytrain III (Seal)

Allen M. Lowery (Seal)
Notary Public of S.C.
My Commission Expires: 12/14/86

THE STATE OF SOUTH CAROLINA,
RICHLAND COUNTY.

RENUNCIATION OF DOWER

I, JAMES M. SAWYERS do hereby certify
unto all whom it may concern, that Mrs. Sharon S. Vanzant
wife of the within-named Ralston B. Vanzant, II did this day
appear before me, and upon being privately and separately examined by me, did declare that she does freely, voluntarily,
and without any compulsion, dread, or fear of any person or persons whomsoever renounce, release and forever relinquish
unto the within-named Policy Management Systems Corporation,
its successors and assigns, all her interest and estate, and also all her right and claim of Dower, of, in, or to all and
singular the premises within mentioned and released.

Given under my Hand and Seal, this 15 day of JUNE

Anno Domini 19 83

Sharon S. Vanzant (L.S.)
Sharon S. Vanzant

James Sawyer (Seal)
Notary Public of S.C.
My Commission Expires: 3/15/93

State of South Carolina,
COUNTY OF RICHLAND,

WHEREAS, Will W. Entzinger departed this life June 5th, 1949, intestate, seized and possessed of fifty-two (52) acres of land, more or less, in upper Richland County, and the State of South Carolina, and
WHEREAS, Will W. Entzinger left as his sole heirs at law four married sons, namely: Wilburn Entzinger, Walter Entzinger, Colie Entzinger, and Warren Entzinger, and one married daughter, namely, Ola May E. Marsh, all of these heirs being at this date more than 21 years of age, and
WHEREAS, it is the desire of these tenants in common to partition this land, so therefore,

Know All Men by These Presents, That We, Walter Entzinger, Colie Entzinger, Warren Entzinger and Ola May E. Marsh,

FILED
MAY 17 12 12 PM '51
E. E. HINMAN,
R. C. C. P. & C. S.
RICHLAND COUNTY, S. C.

in the State aforesaid, for and in consideration of the sum of One (\$1.00) Dollar and the conveyance by similar deed to each of us of our share in our father's estate, to us paid by Wilburn Entzinger

in the State aforesaid, receipt of which is hereby acknowledged, have granted, bargained, sold and released, and by these presents do grant, bargain, sell and release unto the said

WILBURN ENTZINGER, HIS HEIRS AND ASSIGNS FOREVER:

All that piece, parcel or tract of land, situate, lying and being on the western side of U. S. Highway #21 about thirteen miles north of the City of Columbia, in the County of Richland, State of South Carolina, containing ten (10) acres, more or less, being more fully shown and designated on a plat of 10 acres, surveyed for Wilber Entzinger, August 8, 1928, by Jas. C. Covington, C. E., and being bounded as follows: on the North by lands of Colie Entzinger, measuring thereon 1,477 feet, more or less; on the East by U. S. Highway #21, measuring thereon 307 feet; on the South by lands of Ola May Marsh, measuring thereon 1,386 feet, more or less; and on the West by lands of L. A. Marsh, measuring thereon 318 feet, more or less, being a portion of the lands conveyed to Will W. Entzinger, by W. L. Entzinger and others by deed dated 5 March, 1913, and to be recorded in the office of the Clerk of Court for Richland County.

TOGETHER with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

To HAVE AND TO HOLD all and singular the premises before mentioned unto the said Wilburn Entzminger, his

Heirs and Assigns forever.

And We do hereby bind ourselves and our Heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said Wilburn Entzminger, his

Heirs and Assigns, against us and our Heirs and against every person whomsoever lawfully claiming, or to claim, the same or any part thereof.

WITNES our Hands and Seals this 17th day of March in the year of our Lord one thousand nine hundred and fifty-one and in the one hundred and seventy-fifth year of the Sovereignty and Independence of the United States of America

SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF

S. Rhea Haskell, Walter Entzminger (SEAL), Fred L. Hiers, and Warren Entzminger (SEAL)

STATE OF SOUTH CAROLINA, Richland COUNTY.

PERSONALLY appeared before me S. Rhea Haskell

and made oath that he saw the within-named Walter, Collie and Warren Entzminger and Ola May E. Marsh sign, seal and, as their act and deed, deliver the within-written Deed for the uses and purposes therein mentioned, and that he, with Fred L. Hiers witnessed the execution thereof.

SIVORN to before me this 17th day of March 1951.

S. Rhea Haskell, Notary Public of S. C.

STATE OF SOUTH CAROLINA, Richland COUNTY.

RENUNCIATION OF DOWER

I, S. Rhea Haskell, Notary Public for South Carolina, do hereby certify unto all whom it may concern, that Mrs. Emmie T. Entzminger, the wife of the within-named Walter Entzminger did this day appear before me, and upon being privately and separately examined by me, did declare that she does freely, voluntarily and without any compulsion, dread, or fear of any person or persons whomsoever, renounce, release and forever relinquish unto the within-named Wilburn Entzminger, his heirs and assigns, all her interest and estate, and also all her right and claim of Dower of, in or to all and singular the premises within mentioned and released.

Given under my Hand and Seal, this 17th

S. Rhea Haskell, Notary Public of S. C.

STATE OF SOUTH CAROLINA,
COUNTY OF RICHLAND.

I, S. Rhea Haskell, Notary Public for South Carolina, do hereby certify unto all whom it may concern, that Mrs. Estelle G. Entzinger, the wife of the within named Collie Entzinger, did this day appear before me, and upon being privately and separately examined by me, did declare that she does freely, voluntarily and without any compulsion, dread, or fear of any person or persons whomsoever, renounce, release and forever relinquish unto the within named Wilburn Entzinger, his heirs and assigns, all her interest and estate, and also all her right and claim of Dower of, in or to all and singular the premises within mentioned and released.

Mrs. Estelle G. Entzinger

Given under my Hand and Seal,
this 17th day of March, 1951.

(L.S.)
Notary Public of South Carolina.

STATE OF SOUTH CAROLINA,
COUNTY OF RICHLAND.

I, S. Rhea Haskell, Notary Public for South Carolina, do hereby certify unto all whom it may concern, that Mrs. Irene P. Entzinger, the wife of the within named Warren Entzinger, did this day appear before me, and upon being privately and separately examined by me, did declare that she does freely, voluntarily and without any compulsion, dread, or fear of any person or persons whomsoever, renounce, release and forever relinquish unto the within named Wilburn Entzinger, his heirs and assigns, all her interest and estate, and also all her right and claim of Dower of, in or to all and singular the premises within mentioned and released.

Mrs. Irene P. Entzinger

Given under my Hand and Seal
this 17th day of March, 1951.

(L.S.)
Notary Public for South Carolina.

State of South Carolina

County of Richland.
Walter Entzinger, Collie Entzinger, Warren Entzinger and Ola May E. March,

To
Wilburn Entzinger.

TITLE TO REAL ESTATE

I hereby certify that the within Deed was filed for record in my office at 12:12 P.M. o'clock on the 17 day of March, 1951, and was immediately entered upon the proper indexes and duly recorded in Book 70 of Deeds, page 303

Clerk of Court of Common Pleas and General Sessions for Richland County, S. C.

I hereby certify that the within Deed has been this _____ day of _____, A. D. 19 _____, Recorded in Book _____ of Deeds, page _____ for _____ Auditor _____ County _____

Clerk of Court P.M. Pelt
MAR 17
W. M. Husley, Co. Treas.

204 590

FILED

FILED IN DEED BOOK
RICHLAND COUNTY, S. C.
MAY 23 12 30 PM '57

State of South Carolina,

County of Richland,

AGNES W. WOOTEN
C. C. P. & G. S.
RICHLAND COUNTY, S. C.

Know All Men by These Presents, That we, George Ernest Hill and
Della C. Hill, of the County of Richland,

in the State aforesaid, for and

in consideration of the

sum of Five Dollars (\$5.00) and love and affection which we have for our
piece; Iberia C. Jennings; and assumption of mortgage referred to below
to us ~~paid~~ paid and assumed to be paid by the said Iberia C. Jennings,

in the State aforesaid, receipt whereof is hereby acknowledged,

have granted, bargained, sold and released, and by these presents do grant, bargain, sell and release unto the said
Iberia C. Jennings; her heirs and assigns forever:

All that certain piece, parcel or tract of land, with the improvements
thereon, situate, lying and being on the Western side of U. S. Highway
No. 21, near the Town of Blythewood, South Carolina, in School District
No. 2, in the County of Richland, State of South Carolina, being more
fully shown and designated as TRACT "D", containing Two and Fifty-Nine
Hundredths (2.59) acres, on map prepared for E. W. Wooten, Nine and Two-
Tenths (9.2) miles North of Columbia, South Carolina, by McMillan En-
gineering Co., dated April 27, 1956; said parcel or tract of land being
triangular in shape; and according to the aforesaid plat having the
following boundaries and measurements, to-wit: On the North by parcel of
land designated as Tract "C", whereon it measures Four Hundred Sixty and
Seven-Tenths (460.7') feet; on the East by the said U. S. Highway No. 21,
whereon it fronts and measures Four Hundred Ninety-Seven and Nine-Tenths
(497.9') feet; and on the Southwest by property now or formerly of E.
W. Wooten, whereon it measures Four Hundred Seventy-One and Six-Tenths
(471.6') feet. Above described tract was conveyed to the grantors here-
in by Eloise M. Wooten by deed dated September 11, 1956, recorded Sep-
tember 11, 1956, in the Office of the Clerk of Court for Richland County,
South Carolina, in Deed Book 193 page 260.

The within conveyance is made subject to the lien of mortgage covering
real estate described above executed by the grantors herein to R. S.
DeLoach, dated October 30, 1956, recorded November 2, 1956, in said Clerk's
Office in Real Estate Mortgage Book 260 page 466, securing originally
\$2225.34, payable \$112.1 monthly; the payment of the balance now unpaid
on said mortgage obligation being assumed by the grantee herein, Iberia
C. Jennings as part of the consideration for the within deed.

Within conveyance is also made subject to any existing easements of record
for transmission lines, poles, etc., affecting the real estate described
above and hereby conveyed.

(Over)

D204c590

204 c590

191 204 00000

The mortgage reported to above was assigned by H. S. Dalmach to T. C. Drayson Corporation by assignment, dated November 11, 1956, recorded November 28, 1956, in said Clerk's Office in Real Estate Mortgage Book 262 page 371.

Together with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

To HAVE AND TO HOLD all and singular the premises before mentioned unto the said

Iboria C. Jennings, her

Heirs and Assigns forever.

And we do hereby bind ourselves and our Heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said Iboria C. Jennings, her

Heirs and Assigns, against us and our Heirs and against every person whomsoever lawfully claiming, or to claim, the same or any part thereof.

WITNESS our Hands and Seals this 19th day of March

in the year of our Lord one thousand nine hundred and fifty-seven

and in the one hundred and eighty-first

and Independence of the United States of America,

year of the Sovereignty

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF

[Signature]
[Signature]

George Ernest Hill (SEAL)
Doris C. Hill (SEAL)

STATE OF SOUTH CAROLINA,

Richland County.

Notary Atty appeared before me Dorothy S. Keller and made oath that she saw the within-named George Ernest Hill and Dolia C. Hill sign, seal and, as their act and deed, deliver the within-written Deed for the uses and purposes therein mentioned and that she, with F. Wm. Cappelmann witnessed the execution thereof.

SWORN to before me this 19th

day of March, 1957

[Signature]
Notary Public of S. C.

Dorothy S. Keller

STATE OF SOUTH CAROLINA,

Richland County.

RENUNCIATION OF DOWER

I, F. Wm. Cappelmann, Notary Public of South Carolina, do hereby certify unto all whom it may concern, that Mrs. Dolia C. Hill the wife of the within-named George Ernest Hill did this day appear before me, and upon being privately and separately examined by me, did declare that she does freely, voluntarily and without any compulsion, dread, or fear of any person or persons whomsoever, renounce, release and forever relinquish unto the within-named Iboria C. Jennings, her

heirs

and assigns, all her interest and estate, and also all her right and claim of Dower of, in or to all and singular the premises within mentioned and released.

Given under my Hand and Seal, this 19th

day of March

Annos Domini 19 57

[Signature]
Notary Public of S. C.

Mrs. Dolia C. Hill

193 - 260

STATE OF SOUTH CAROLINA
DEPARTMENT OF REAL ESTATE

State of South Carolina,

COUNTY OF RICHLAND.

Know All Men by These Presents, That I, Eloise H. Wooten, of the County of Richland,



in the State aforesaid. ----- For and ----- in consideration of the sum of One Thousand and 00/100 (\$1,000.00) Dollars ----- to be paid by George Ernest Hill and Delia C. Hill, of the County of Richland, ----- in the State aforesaid ----- (receipt whereof is hereby acknowledged) ----- have granted, bargained, sold and released, and by these presents do grant, bargain, sell and release unto the said

GEORGE ERNEST HILL and DELIA C. HILL, their heirs and assigns:

All that certain piece, parcel or tract of land, situate, lying and being on the Western side of U. S. Highway No. 21, near the Town of Blythewood, S. C., in School District No. 2, in the County of Richland, State of South Carolina, being more fully shown and designated as TRACT "D", containing Two and Fifty-Nine Hundredths (2.59) acres, on map prepared for E. W. Wooten, Nine and Two-Tenths (9.2) miles North of Columbia, S. C., by McMillan Engineering Co., dated April 27, 1956; said parcel or tract of land being triangular in shape, and according to the aforesaid plat having the following boundaries and measurements, to-wit: On the North by parcel of land designated as Tract "C", whereon it measures Four Hundred Sixty and Seven-Tenths (460.7') feet; on the East by the said U. S. Highway No. 21, whereon it fronts and measures Four Hundred Ninety-Seven and Nine-Tenths (497.9') feet; and on the Southwest by property now or formerly of E. W. Wooten, whereon it measures Four Hundred Seventy-One and Six-Tenths (471.6') feet.

This conveyance being made subject to any existing easements of record for transmission lines, poles, etc., affecting the premises hereinabove described and conveyed.

... and appurtenances to the said premises...

... mentioned into the said

GEORGE ERNEST HILL and DELIA C. HILL, their

...

And I do hereby bind myself, my heirs, executors and assigns to warrant and forever defend all and singular the said premises unto the said

GEORGE ERNEST HILL and DELIA C. HILL, their

Heirs and assigns, against me and my heirs and against every person who may lawfully claim, or to claim, the same or any part thereof.

... this 11th day of September, 1956, ... year of our Lord one thousand nine hundred and Fifty-Six, ... Eighty-First year of the Sovereignty and Independence of the United States of America.

SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF

W. F. Smith, Jr.

Eloise M. Wooten
ELOISE H. WOOTEN

(SEAL)
(S.M.)

STATE OF SOUTH CAROLINA,

RICHLAND COUNTY,

Personally appeared before me

E. W. Wooten

and made oath that he saw the within-named Eloise M. Wooten sign, seal and, as her act and deed, deliver the within-written Deed for the uses and purposes therein mentioned and that he, with W. F. Smith, Jr., witnessed the execution thereof

SWORN to before me this 11th day of September, 1956

W. F. Smith, Jr.
Notary Public of S. C.

E. W. Wooten

STATE OF SOUTH CAROLINA,

COUNTY,

NO RENUNCIATION OF DOWER GRANTOR, WOMAN

I, ... do hereby certify unto all whom it may concern, that Mrs. ... the wife of the within-named ... appear before me, and upon being privately and separately examined by me, did declare that she does freely, voluntarily and without any compulsion, dread, or fear of any person or persons whomsoever, renounce, release and forever relinquish unto the within-named

0646-250

U. S. DEPARTMENT OF THE INTERIOR

120.00
66.00

State of South Carolina,
COUNTY OF RICHLAND

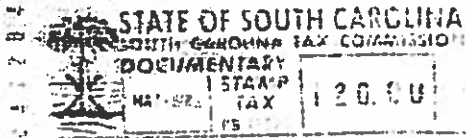
1977
1999

RECORDED

Know All Men By These Presents,

That I, Verlie Marsh Hathaway

a/k/a Verlie Marsh Wymer Hathaway,



in the State aforesaid for and in consideration of the
sum of Sixty Thousand and no/100 (\$60,000.00) Dollars
to me paid by Ralston B. Vanzant, II
in the State aforesaid, the receipt whereof is hereby
acknowledged, have granted, bargained, sold and released, by these presents do grant, bargain, sell and release
unto the said

RALSTON B. VANZANT, II,
his heirs and assigns:

All that certain piece, parcel or tract of land, with the improvements thereon, situate, lying and being on the northern side of Hell Valley Road (16 foot dirt road), in the County of Richland, State of South Carolina, containing 3.55 acres and being more particularly shown and delineated on a plat prepared for Ralston B. Vanzant, II by Cox and Dinkins, Inc., Engineers and Surveyors, dated April 26, 1983, to be recorded, and, according to said plat, having the following metes and bounds, to-wit: Beginning at an iron near the northern side of the right-of-way of Hell Valley Road approximately 566.77 feet west of U. S. Highway No. 21, and running thence S86°49'W for a distance of 51.89 feet to an iron; thence turning and running N02°56'E for a distance of 209.77 feet to an iron; thence turning and running SB7°26'W for a distance of 245.0 feet to an iron; thence turning and running S07°30'E for a distance of 196.8 feet to an iron; thence turning and running N85°38'W for a distance of 38.34 feet to an iron; thence turning and running N12°50'W for a distance of 330.85 feet to an iron; thence turning and running SB7°57'E for a distance of 797.5 feet to an iron; thence turning and running S05°22'E for a distance of 121.03 feet to an iron; thence turning and running S67°56'W for a distance of 470.96 feet to the point of beginning, be all measurements a little more or less.

This being the identical property heretofore conveyed to the grantor herein by deed of Ola Mae Entzinger Marsh a/k/a Ole M-y, E. Marsh dated September 21, 1977, and recorded in the Richland County R.M.C. Office in Deed Book D-440, page 402.

Mon Apr 10 2000 09:15 RICHLAND COUNTY R.M.C.

0320 0479 11

4.0 04/10/2000

ALSO, all of my right, title and interest, if any, in and to the land shown as Hill Valley Road on the above plat or any part thereof or interest therein.

GRANTEE'S MAILING ADDRESS: P. O. Box 11076, Columbia, SC 29211

Together with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

To Have and to Hold all and singular the premises before mentioned unto the said Ralston B. Vanzant, II, his

Heirs and Assigns forever

And I do hereby bind myself and my Heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said

Ralston B. Vanzant, II, his

Heirs and Assigns, against me and my Heirs and against every person whomsoever lawfully claiming, or to claim, the same or any part thereof.

WITNESS my Hand and Seal this 5th day of May

in the year of our Lord one thousand nine hundred and eighty-three

and in the ^{two} hundred and seventh year of the Sovereignty

and Independence of the United States of America.

Signed, Sealed and Delivered

in the presence of

Clayton Butcher
Richard K. Bell

Verlie Marsh Hathaway (SEAL)
Verlie Marsh Hathaway a/k/a
Verlie Marsh Wymmer Hathaway (SEAL)
Verlie Marsh Wymmer Hathaway

D646 e259

STATE OF SOUTH CAROLINA,

Richland County }

Personally appeared before me

E. DWARD K. ...

and made oath that *he* saw the within named Verlie Marsh Hathaway a/k/a Verlie Marsh Hathaway sign, seal and as her act and deed, deliver the within written Deed for the uses and purposes therein mentioned, and that he, with *CLAY D. BRITAIN, III* witnessed the execution thereof.

SWORN to before me this 5th

Clay D. Britain III day of *May* 1983 (L.S.)

Clay D. Britain III

Notary Public of S. C.
My Commission Expires: *11/9/80*

STATE OF SOUTH CAROLINA,
County }

NO RENUNCIATION OF DOWER
GRANTOR IS A WOMAN

I, _____ do hereby certify
unto all whom it may concern, that Mrs.
the wife of the within named _____
did this day appear before me, and upon being privately and separately examined by me, did declare that she does
freely, voluntarily and without any compulsion, dread or fear of any person or persons whomsoever, renounce, release
and forever relinquish unto the within named _____

heirs

and assigns, all her interest and estate, and also her rights and Claim of Dower of, in or to all and singular the premises within mentioned and released.

Given under my Hand and Seal, this
day of _____
Anno Domini 19 _____

(L.S.)
Notary Public of S. C.

40 016-260

D6460260

D640 / 261

1500
640

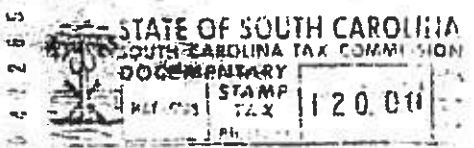
State of South Carolina,
COUNTY OF RICHLAND

FILED
REGISTER OF DEEDS
RICHLAND COUNTY
SOUTH CAROLINA



Know All Men By These Presents,
a/k/a Verlie Marsh Wyner Hathaway,

That I, Verlie Marsh Hathaway



in the State aforesaid for and
sum of Sixty Thousand and no/100 (\$60,000.00) Dollars
to me paid by Ralston B. Vanzant, II
in the State aforesaid,
acknowledged, have granted, bargained, sold and released, by these presents do grant, bargain, sell and release
unto the said

in consideration of the

the receipt whereof is hereby

RALSTON B. VANZANT, II,
his heirs and assigns:

All that certain piece, parcel or tract of land, with the improvements thereon, situate, lying and being on the northern side of Hell Valley Road, in the County of Richland, State of South Carolina, containing 3.41 acres, in the aggregate, and being more particularly shown and delineated on a plat prepared for Ralston B. Vanzant, II by Cox and Dinkins, Inc., Engineers and Surveyors, dated April 26, 1983, to be recorded, and, according to said plat, having the following metes and bounds, to-wit: Beginning at an iron on the northern edge of the right-of-way of Hell Valley Road, approximately 862.93 feet west of its intersection with U. S. Highway No. 21, and running thence S77°07'W for a distance of 142.47 feet to an iron; thence turning and running S70°26'W for a distance of 160.05 feet to an iron; thence turning and running S77°47'W for a distance of 81.98 feet to an iron; thence turning and running N11°53'W for a distance of 9.95 feet to an iron; thence turning and running N11°09'W for a distance of 229.09 feet to an iron; thence turning and running N10°56'W for a distance of 208.2 feet to an iron; thence turning and running S89°38'E for a distance of 207.66 feet to an iron; thence turning and running S89°08'E for a distance of 172.26 feet to an iron; thence turning and running S12°50'E for a distance of 330.85 feet to an iron; thence continuing S12°50'E for a distance of 10.0 feet to the point of beginning, be all measurements a little more or less.

D640 261

COPIES MADE: P.O. Box 11070

Mon Apr 10 2000 09:16 RICHLAND COUNTY R.M.C.

DU 646-262

This being the identical property heretofore conveyed to the grantor herein by deed of William Curtis Marsh and Joyce Marsh dated May 11, 1976, and recorded in the Richland County R.M.C. Office in Deed Book D-461, page 491, and by deed of Lonnie Hathaway, Jr. dated October 17, 1973, and recorded in the Richland County R.M.C. Office in Deed Book D-479, page 506.

ALSO, all of my right, title and interest, if any, in and to the land shown as Hell Valley Road on the above plat or any part thereof or interest therein.

Together with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

To Have and to Hold all and singular the premises before mentioned unto the said

Ralston B. Vanzant, II, his

Heirs and Assigns forever

And I do hereby bind myself and my Heirs, Executors

and Administrators, to warrant and forever defend all and singular the said premises unto the said

Ralston B. Vanzant, II, his

Heirs and Assigns, against me and my Heirs and against every person whomsoever lawfully claiming, or to claim, the same or any part thereof.

WITNESS my Hand and Seal this 5th day of May,

in the year of our Lord one thousand nine hundred and eighty-three

and in the two hundred and seventh year of the Sovereignty

and Independence of the United States of America.

Signed, Sealed and Delivered

in the presence of

Clayton D. Brytham
Edward K. Balle

Verlie Marsh Hathaway (SEAL)
Verlie Marsh Hathaway a/k/a
Verlie Marsh Wymar Hathaway (SEAL)
Verlie Marsh Wymar Hathaway

D646@262

STATE OF SOUTH CAROLINA

Richland County

Personally appeared before me

and made oath that *he* saw the within named Verlie Marsh Hathaway d/k/a Verlie Marsh Wymer Hathaway sign, seal and as her act and deed, deliver the within written Deed for the uses and purposes therein mentioned, and that he, with *CLAY J. BRITAIN, JR.* witnessed the execution thereof.

SWORN to before me this 5th

Clay J. Britain, Jr. 19 83
(L.S.)

Notary Public of S. C.
My Commission Expires: *4/9/90*

STATE OF SOUTH CAROLINA,
County

Edward K. Beth

NO RENUNCIATION OF DOWER
GRANTOR IS A WOMAN

I, _____, do hereby certify
unto all whom it may concern, that Mrs.
the wife of the within named
did this day appear before me, and upon being privately and separately examined by me, did declare that she does
freely, voluntarily and without any compulsion, dread or fear of any person or persons whatsoever, renounce, release
and forever relinquish unto the within named

heirs

and assigns, all her interest and estate, and also her rights and Claim of Dower of, in or to all and singular the
premises within mentioned and released

Given under my Hand and Seal, this
day of
Anno Domini 19

(L.S.)
Notary Public of S. C.

90.0" 30
49.50

D640 / 264
L U O S L P R O F E C T O R
0646/264

State of South Carolina.
COUNTY OF RICHLAND

FILED
APR 10 1983
RICHLAND COUNTY

Know All Men By These Presents,
Kathryn B. Stepp,

That we, Paul R. Stepp and

STATE OF SOUTH CAROLINA
SOUTH CAROLINA TAX COMMISSION
DOCUMENTARY
STAMP
TAX
90.00
PH 1 3

RICHLAND COUNTY DOCUMENTARY
TAX
90.00

in the State aforesaid for and in consideration of the
sum of Forty-Five Thousand and no/100 (\$45,000.00) Dollars
to us paid by Ralston B. Vanzant, II
in the State aforesaid, the receipt whereof is hereby
acknowledged, have granted, bargained, sold and released, by these presents do grant, bargain, sell and release
unto the said

RALSTON B. VANZANT, II,
his heirs and assigns:

All that certain piece, parcel or tract of land, with the improvements thereon, situate lying and being on the southern side of Hell Valley Road (16 foot dirt road), in the County of Richland, State of South Carolina, containing 1.27 acres, and being more particularly shown and delineated on a plat prepared for Ralston B. Vanzant, II by Cox and Dinkins, Inc., Engineers and Surveyors, dated April 28, 1983, to be recorded, and according to said plat, having the following metes and bounds, to-wit: Beginning at an iron on the southern edge of the right-of-way of Hell Valley Road and running along said right-of-way N74°57'E for a distance of 84.71 feet to a point; thence turning and running N70°26'E for a distance of 160.05 feet to a point; thence turning and running N76°59'E for a distance of 102.84 feet to a point; thence turning and running N80°18'E for a distance of 90.03 feet to a point; thence turning and running N88°12'E for a distance of 80.02 feet to a point; thence turning and running S83°27'E for a distance of 99.32 feet to an iron; thence turning and running S67°49'W for a distance of 622.0 feet to an iron; thence turning and running N10°35'W for a distance of 132.0 feet to the point of beginning, be all measurements a little more or less.

This being the identical property heretofore conveyed to the grantors herein by deed of Albert T. Marsh dated May 1, 1981, recorded in the Richland County R.M.C. Office in Deed Book D-575, page 291.

IN WITNESS WHEREOF

Mon Apr 10 2000 09:17 RICHLAND COUNTY R.M.C.

D6460264

ALSO: All of our right, title and interest, if any, in and to Hell Alley Road (16 foot dirt road), as shown on plat prepared for Ralston B. Vanzant, II by Cox and Dinkins, Inc. Engineers and Surveyors, dated April 28, 1983, to be recorded.

GRANTEE'S MAILING ADDRESS: P. O. Box 11070, Columbia, SC 29211

Together with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

To Have and to Hold all and singular the premises before mentioned unto the said

Ralston B. Vanzant, II, his

Heirs and Assigns forever

And WE do hereby bind ourselves and our Heirs, Executors and Administrators, to warrant and forever defend all and singular the said premises unto the said Ralston B. Vanzant, II, his

Heirs and Assigns, against US and OUR Heirs and against every person whomsoever lawfully claiming, or to claim, the same or any part thereof.

WITNESS our Hands and Seal this 5th day of May in the year of our Lord one thousand nine hundred and eighty-three and in the ^{two} hundred and seventh year of the Sovereignty and Independence of the United States of America.

Signed, Sealed and Delivered in the presence of

Charles N. Batten
Edward L. Bell

Paul R. Stepp (SEAL)
Kathryn B. Stepp (SEAL)
Paul R. Stepp
Kathryn B. Stepp

D 646 e 265

STATE OF SOUTH CAROLINA,
Richland County }

Personally appeared before me

Edward K. Butler III

and made oath that *he* saw the within named Paul R. Stepp and Kathryn B. Stepp
sign, seal and as their act and deed, deliver the within written Deed for the uses and purposes therein
mentioned, and that he, with CLAY D. BRITTAIN, III witnessed the
execution thereof.

SWORN to before me this

5th day of May, 1983

Clay D. Brittain, III (L. S.)

Notary Public of S. C. 4/3/1990
My Commission Expires:
STATE OF SOUTH CAROLINA,

Edward K. Butler III

RENUNCIATION OF DOWER

Richland County }

I, CLAY D. BRITTAIN, III do hereby certify

unto all whom it may concern, that Mrs. Kathryn B. Stepp

the wife of the within named Paul R. Stepp

did this day appear before me, and upon being privately and separately examined by me, did declare that she does
freely, voluntarily, and without any compulsion, dread or fear of any person or persons whomsoever, renounce, release
and forever relinquish unto the within named Ralston B. Vanzant, II, his

heirs

and assigns, all her interest and estate, and also her rights and Claim of Dower of, in or to all and singular the
premises within mentioned and released.

Given under my Hand and Seal, this
5th day of May,
Anno Domini 1983
Clay D. Brittain, III (L. S.)
Notary Public of S. C.
My Commission Expires: 4/3/1990

Kathryn B. Stepp
Kathryn B. Stepp